



CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

**THE CITY OF SIGNAL HILL
WELCOMES YOU TO A REGULAR
PLANNING COMMISSION MEETING
March 10, 2015**

The City of Signal Hill appreciates your attendance. Citizen interest provides the Planning Commission with valuable information regarding issues of the community. Meetings are held on the 2nd Tuesday of every month.

Meetings commence at 7:00 p.m. There is a public comment period at the beginning of the regular meeting, as well as the opportunity to comment on each agenda item as it arises. Any meeting may be adjourned to a time and place stated in the order of adjournment.

The agenda is posted 72 hours prior to each meeting on the City's website and outside of City Hall and is available at each meeting. The agenda and related reports are available for review online and at the Community Development office and Library on the Friday afternoon prior to the Commission meeting. Agenda and staff reports are also available at our website at www.cityofsignalhill.org.

During the meeting, the Community Development Director presents agenda items for Commission consideration. The public is allowed to address the Commission on all agenda items. The Chair will announce when the period for public comment is open on each agenda item. The public may speak to the Commission on items that are not listed on the agenda. This public comment period will be held at the beginning of the public portion of the meeting. You are encouraged (but not required) to complete a speaker card prior to the item being considered, and give the card to a City staff member. The purpose of the card is to ensure speakers are correctly identified in the minutes. However, completion of a speaker card is voluntary, and is not a requirement to address the Commission. The cards are provided at the rear of the Council Chamber. Please direct your comments or questions to the Chair. Each speaker is allowed three minutes make their comments.

CALL TO ORDER

ROLL CALL

CHAIR BENSON
VICE-CHAIR FALLON
COMMISSIONER AUSTIN
COMMISSIONER MURPHY
COMMISSIONER RICHÁRD

PLEDGE OF ALLEGIANCE

The Chair will lead the audience in reciting the Pledge of Allegiance.

PUBLIC BUSINESS FROM THE FLOOR ON ITEMS NOT LISTED ON THIS AGENDA

PUBLIC WORKSHOP

1. Revised Plans for Addition to Single-Family Dwelling at 3347 Brayton Avenue

Summary: The applicant, Reginald McNulty, is requesting a workshop review of plans to remodel and add on to an existing one-story, 768 sq. ft. single-family dwelling at 3347 Brayton Avenue in the RLM-2, Residential Low-Medium Density, zoning district. In 2011, the Planning Commission approved the applicant's plans to:

- Demolish an existing 3-car garage;
- Construct a 931 sq. ft. second unit over a new 3-car garage at the rear of the property; and
- Remodel and add 307 sq. ft. of floor area and new 1-car garage to the single-family dwelling existing in the front of the property.

Construction of the 3-car garage and second unit has been completed, but the applicant is requesting changes to the plans for the front house to add a second story element and increase the square footage by 958 sq. ft. The change requires Planning Commission review.

Recommendations: 1) open the workshop and receive public comments; and 2) direct the applicant to make revisions as deemed appropriate.

COMMUNITY DEVELOPMENT DIRECTOR REPORTS

2. General Plan Annual Progress Report

Summary: Government Code Section 65400 mandates that all cities submit to their legislative bodies an annual report on the status of the General Plan and progress in its implementation. In addition, the City is required to file the annual

report with the Governor's Office of Planning and Research and the Department of Housing and Community Development.

Recommendation: Recommend City Council authorization to submit the Annual Progress Report to the Governor's Office of Planning and Research and the Department of Housing and Community Development.

3. Update on Progress on the Pending Oil Code Amendment Revising Regulations for Development on Properties with Abandoned Wells and Methane Assessment and Mitigation

Summary: Staff will present an update on the status of the oil code amendment including the environmental analysis.

Recommendation: Receive and file.

CONSENT CALENDAR

The following Consent Calendar items are expected to be routine and non-controversial. Items will be acted upon by the Commission at one time without discussion. Any item may be removed by a Commissioner or member of the audience for discussion.

4. Minutes of the Following Meeting

Regular Meeting of February 10, 2015

Recommendation: Approve.

5. City Council Follow-up

Summary: Attached for review is a brief summary on the City Council's action from the February 27, 2015 and March 5, 2015 meetings.

Recommendation: Receive and file.

6. Development Status Report

Summary: Attached for review is the monthly Development Status Report.

Recommendation: Receive and file.

7. In the News

Summary: Featured articles.

Recommendation: Receive and file.

COMMISSION NEW BUSINESS

COMMISSIONER RICHÁRD
COMMISSIONER MURPHY
COMMISSIONER AUSTIN
VICE-CHAIR FALLON
CHAIR BENSON

ADJOURNMENT

Adjourn tonight's meeting to the next regular meeting to be held Tuesday, April 14, 2015 at 7:00 p.m. in the Council Chambers located at City Hall.

CITIZEN PARTICIPATION

If you need special assistance beyond what is normally provided to participate in City meetings, the City will attempt to accommodate you in every reasonable manner. Please call the City Clerk's office at (562) 989-7305 at least 48 hours prior to the meeting to inform us of your particular needs and to determine if accommodation is feasible.



March

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31								

1



Revised Plans for Addition to
Single-Family Dwelling at
3347 Brayton Avenue

CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

PROCEDURES RELATIVE TO PUBLIC HEARINGS/WORKSHOPS

1. At the request of the Mayor/Chair, the City Clerk/Secretary reports on the Form of Notice given:
 - a. Notice was published in the *Signal Tribune* newspaper on February 27, 2015.
 - b. Notice was posted in accordance with Signal Hill Municipal Code Section 1.08.010 on February 27, 2015.
 - c. Mailed to property owners within a 100' radius on February 27, 2015.
2. Mayor/Chair asks for a staff report, which shall be included in written materials presented to the City Council/Commission so that they can be received into evidence by formal motion.

In addition, the staff report shall include the following:

- a. Summarize the resolution/ordinance;
 - b. The specific location of the property, and/or use, the surrounding properties;
 - c. The criteria of the Code which applies to the pending application; and
 - d. The recommendation of the Council/Commission and/or other legislative body of the City and staff recommendation.
3. Mayor/Chair declares the public hearing open.
4. Mayor/Chair invites those persons who are in favor of the application to speak.
5. Mayor/Chair invites those persons who are in opposition to the application to speak.
6. Applicant or their representative is provided a brief rebuttal period.
7. Mayor/Chair declares the public hearing closed.
8. Discussion by Council/Commission only.
9. City Attorney reads title of resolutions and/or ordinances.
10. City Clerk/Secretary conducts Roll Call vote.



CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: SELENA ALANIS
ASSISTANT PLANNER**

**SUBJECT: WORKSHOP - REVISED PLANS FOR ADDITION TO SINGLE-FAMILY
DWELLING AT 3347 BRAYTON AVENUE**

Summary:

The applicant, Reginald McNulty, is requesting a workshop review of plans to remodel and add on to an existing one-story, 768 sq. ft. single-family dwelling at 3347 Brayton Avenue in the RLM-2, Residential Low-Medium Density, zoning district. In 2011, the Planning Commission approved the applicant's plans to:

- Demolish an existing 3-car garage;
- Construct a 931 sq. ft. second unit over a new 3-car garage at the rear of the property; and
- Remodel and add 307 sq. ft. of floor area and new 1-car garage to the single-family dwelling existing in the front of the property.

Construction of the 3-car garage and second unit has been completed, but the applicant is requesting changes to the plans for the front house to add a second story element and increase the square footage by 958 sq. ft. The change requires Planning Commission review.

Recommendations:

- 1) Open the workshop and receive public comments.
- 2) Direct the applicant to make revisions as deemed appropriate.

Background:

On July 12, 2011, the Planning Commission reviewed preliminary plans for the remodel and second unit and found them conforming to all applicable development and design standards (Attachment A).

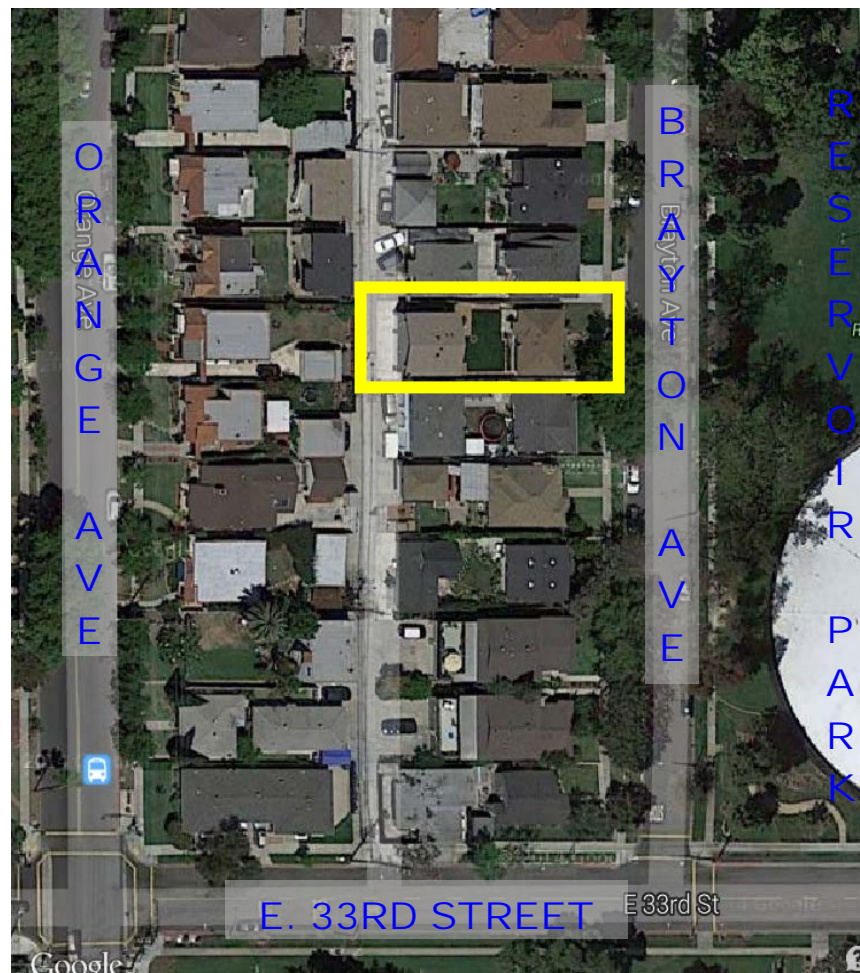
On August 9, 2011, the Commission conducted a public hearing and approved the plans (Attachment B). The previously approved plans included:

- Front house - 307 sq. ft. addition and a new 1-car garage. With the addition, the front house included two bedrooms, two bathrooms, a living room, kitchen and 1-car garage.
- Second unit - 931 sq. ft. two bedroom, one bathroom, a living room, and kitchen above a 3-car garage at the rear of the property (Attachment C).

Analysis:

Existing Conditions

The subject site is located on the west side of Brayton Avenue between 33rd Street and Wardlow Road in the North End neighborhood.



The surrounding land uses are a mix of one and two-story homes with detached garages. Several of the properties have similar second units over 3-car garages. The immediately surrounding properties include:

Direction	Zoning Designation	Existing Land Use
Project Site	RLM-2, Residential Low/Medium-2	One-story single-family dwelling at front of the property and detached 3-car garage with second unit above at the rear of the property
North	RLM-2, Residential Low/Medium-2	One-story single-family dwelling and detached second unit
South	RLM-2, Residential Low/Medium-2	One-story single-family dwelling and detached two-story second unit
East	OS, Open Space	Reservoir Park
West	RLM-2, Residential Low/Medium-2	One-story single-family dwelling and detached second unit

Currently, there are two structures on the property:

- The unaltered 768 square foot one-story house fronting Brayton Avenue (two bedrooms, one bathroom, living room and kitchen); and
- 931 square foot second unit over a 3-car garage with alley access in the rear (two bedroom, one bathroom, living room and kitchen).

Proposed Plans

The applicant has elected to modify the plans for the front house by adding a second story thereby increasing the dwelling's square footage to a total of 1,580 square feet (Attachment D). The building footprint is similar to the previously approved plans which met all of the development standards. The revised proposal includes:

- 227 sq. ft. addition on the first floor to include a living room, den, bathroom, kitchen and demolition of one bedroom for a new 1-car garage; and
- 731 sq. ft. of new floor area on the second floor consisting of three bedrooms and one bathroom.

Zoning Development Standards

The lot size is 5,104 sq. ft., which exceeds the minimum lot size required to allow two dwelling units on the lot. No dedications to the street or alley are required. The project

complies with all of the development standards of the RLM-2, Residential Low/Medium-2, zoning district including:

Standard	Required	Proposed/Existing
Setbacks Front (east) Side (north) Side (south) Rear (west)	20' minimum 5' minimum 5' minimum 5' minimum	20' existing to remain 4' and 5' for new floor area 4' and 5' for new floor area 9' existing to remain
Height	25' height limit	23'-7" from finished grade to top of structure
Off-street parking	2 garage spaces per unit =4 spaces, 10'x20' interior dimension	New 1-car garage 12' x 20' and 3-car garage (4 spaces total)
Lot Coverage	50% maximum	38%
Floor Area Ratio	.5 maximum	.49
Open Space	600 sq. ft. / unit = 1,200 sq. ft. 10'x10' minimum area	1,296 sq. ft.

Parking

The North End is a parking impacted neighborhood. The west side of Brayton Avenue is permit only parking and the east side of Brayton Avenue adjacent to Reservoir Park is limited to 2-hour parking. Without the 1-car garage the property does not conform to development standards which require two garage spaces per dwelling. The driveway curb cut and driveway apron along Brayton Avenue have been completed and the applicant is committed to constructing the 1-car garage to meet the required off-street parking regulations.

Sideyard Setbacks

The sideyard setback requirement is 5'. The first floor of the front house is nonconforming and has a 4' sideyard setback. The previously approved plans included a new garage setback 4' and new master bedroom setback 5'. The new garage is not habitable floor area and buildings walls that are nonconforming may be extended. The second story addition will jog in 1' on each side to comply with the 5' setback requirement.

Design

The existing dwelling is a simple California neo-traditional style home built in 1950. It has simple stucco walls, a hip roof, and balcony, small front porch with straight wood support columns. The second story addition will match the existing home and rear home in style, color and finishes. A color and materials board will be available at the meeting.

Green Features

The new dwelling unit will have to comply with the new California Green Building Code, or CALGreen. The rear dwelling unit is also oriented with the ridge pointing east to west which gives the home the proper solar orientation to the south and therefore better for passive heating and cooling and ideal for a future solar panel system angled to the south. The new rear unit also features available 220 volt outlets on both sides of the garage to allow for future installation of an electric vehicle charging station.

Approved:

Scott Charney

Attachments



Attachment A
Attachments to Staff Report
not provided

CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

July 12, 2011

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: JAMES KAO
ASSOCIATE PLANNER**

**SUBJECT: WORKSHOP—SINGLE-FAMILY REMODEL AND NEW SECOND UNIT
AT 3347 BRAYTON AVENUE**

Summary:

The applicant, Reginald McNulty, is requesting approval to remodel and add on to an existing 768 square-foot, one-story, two-bedroom, one-bath single-family dwelling to make it a 924 square-foot, two-bedroom, two-bath single-family dwelling with a one-car garage and demolish an existing three-car garage in the rear and construct a new 931 square-foot, three-car garage with a two-bedroom, one-bath single-family dwelling above at 3347 Brayton Avenue in the RLM-2, Residential Low-Medium Density, zoning district.

Recommendations:

- 1) Open the public workshop and receive testimony.
- 2) Direct the applicant to make revisions as deemed appropriate.

Background:

The Planning Commission has not reviewed this project. The most recently approved project with a second unit in the area was reviewed in May 2010 at 3235 Orange Avenue. During the last few public hearings regarding second units in the North End neighborhood, residents have expressed concerns about decreased on-street parking availability and density.

Analysis:

Existing Conditions

The subject site is located mid-block on the west side of Brayton Avenue between 33rd Street and Wardlow Road (Attachment A). Surrounding properties include a mix of single-family and duplex dwellings, Reservoir Park directly to the east and Burroughs Elementary half a block to the south.

Currently, there are two structures on the property, a single-family dwelling fronting Brayton and a three-car garage in the rear by the alley. The single-family dwelling has 4-foot side yard setbacks that do not conform to the current code standard of five feet. The three-car garage has a zero setback on the south side which conforms to standards for an accessory structure which can be placed at the property line if located 75 feet or more from the front property line. This garage provides sufficient parking for the existing two-bedroom dwelling unit.

Site Plan

The proposal is composed of two parts. The first is a remodel and addition to the front single-family dwelling. In order to accommodate four cars in garages for two dwelling units, one garage has to be placed at the front of the property due to the narrow 40-foot width of the lot. This garage will take the place of an existing bedroom and will extend the nonconforming wall an additional seven feet. Staff has determined that this is acceptable as the space is for a garage and not habitable so does not violate the nonconforming standards of SHMC Section 20.82.040. The former bedroom will be relocated to the rear of the home as a new master bedroom which is enlarged by an additional 307 square feet and is set back five feet from the property line because it is habitable space.

The second part is to demolish the existing three-car garage and replace it with a second dwelling unit above a new three-car garage. The existing three-car garage needs to be removed because it cannot accommodate a dwelling unit above it due to its dilapidated condition and placement on the side property line. The new setbacks for the garage and attached dwelling unit are 4' – 6". The applicant has requested and received a minor deviation from the Planning Director of 6 inches, or 10% of the sideyard, from both sideyard setbacks. This is justified to allow the construction of a three-car garage with standard 6-inch walls that accommodates 30 feet of clear space for standard size parking stalls for three vehicles (10' x 20' per stall). The deviation will bring the property into conformance with off-street parking standards.

The project as a whole complies with the following development standards:

- Total garage space of 400 square-feet required for two, two-bedroom dwelling units
- 25-foot height limit (maximum 23' – 3" feet proposed)
- Floor area ratio of 0.50 (0.36 proposed)
- Open space requirement of 1,200 square-feet (1,232 square-feet proposed)
- 20-foot front setback on Brayton Avenue (20 feet proposed)
- 5-foot sideyard setback for new master bedroom addition (5 feet proposed)
- 5-foot sideyard setback for new second unit in rear (4'-6" feet proposed and permissible with 6" minor deviation)

Parking Impacts

The existing property provides three off-street garage spaces accessed from the alley. The proposal will add a fourth garage space accessed from Brayton that will bring the property into compliance with the new rear unit. This fourth garage will require a new driveway and curb cut which may eliminate an on-street parking space. The fourth garage cannot be placed in the rear by the alley because the lot is only 40 feet wide and cannot physically accommodate two two-car garages placed side by side. Given the number of garages and the length of the driveways, the property can park a total of six vehicles off the street.

Design

The existing one-story home is a simple California neo-traditional style home built in 1950 (Attachment B, photos). It has simple stucco walls, a hip roof and small front porch with straight wood support columns. The new rear unit matches the front home in style, color and finishes. A color and materials board will be available at the meeting.

Green Features

The new dwelling unit will have to comply with the new California Green Building Code, or CALGreen. The units are also greener because they are not built to the maximum floor area ratio of 0.5 (only 0.36) which translates into less resources used and energy consumed to maintain. The rear dwelling unit is also oriented with the ridge pointing east to west which gives the home the proper solar orientation to the south and therefore better for passive heating and cooling and ideal for a future solar panel system angled to the south. The new rear unit also features available 220 volt outlets on both sides of the garage to allow for future installation of an electric vehicle charging station.

3347 Brayton Avenue

July 12, 2011

Page 4 of 4

This is a feature that the Commission may want staff to include in all future residential projects as it makes sense to install the wiring for these units during construction instead of a doing a costly retrofit later on.

Approved:

 //ss//
Scott Charney



Attachment B
Attachments to Staff Report
not provided

CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

August 9, 2011

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: JAMES KAO
ASSOCIATE PLANNER**

**SUBJECT: PUBLIC HEARING— SINGLE-FAMILY REMODEL AND NEW SECOND
UNIT AT 3347 BRAYTON AVENUE**

Summary:

The applicant, Reginald McNulty, is requesting approval to remodel and add on to an existing 768 square-foot, single-family dwelling with a one-car garage; demolish an existing three-car garage in the rear and construct a second unit over a three-car garage at 3347 Brayton Avenue in the RLM-2, Residential Low-Medium Density, zoning district (Attachment A).

Recommendation: Waive further reading and adopt the following resolution, entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SIGNAL HILL, CALIFORNIA, APPROVING SITE PLAN AND DESIGN REVIEW 11-03, A REQUEST TO REMODEL AN EXISTING 768 SQUARE FOOT ONE-STORY, TWO- BEDROOM, ONE-BATH SINGLE-FAMILY DWELLING TO A TWO-BEDROOM, TWO-BATH SINGLE-FAMILY DWELLING WITH A ONE-CAR GARAGE AND DEMOLISH AN EXISTING THREE-CAR GARAGE IN THE REAR AND CONSTRUCT A NEW THREE-CAR GARAGE WITH A 931 SQUARE FOOT TWO- BEDROOM, ONE-BATH SINGLE-FAMILY DWELLING ABOVE IT AT 3347 BRAYTON AVENUE IN THE RLM-2, RESIDENTIAL LOW/MEDIUM-2, ZONING DISTRICT

Background:

The Planning Commission reviewed this project in a public workshop in July 2011. After finding the proposal satisfactory and conforming to all zoning standards, the Commission directed staff to prepare the item for a public hearing (Attachment B, staff report).

Analysis:

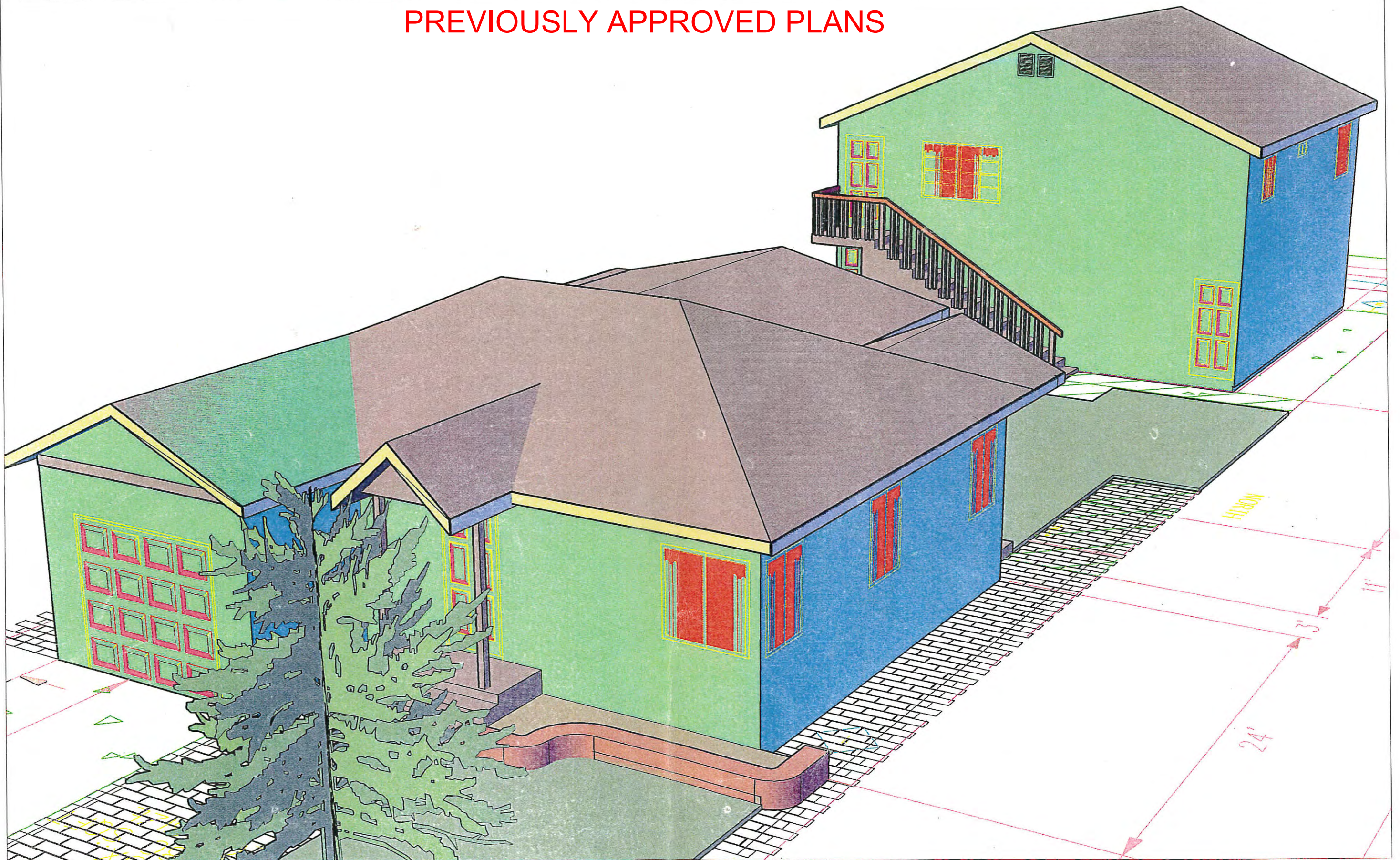
During the July workshop, the Commission was satisfied with the steps the applicant is taking to improve his property. The Commission was also pleased with the compatibility of the architectural design of the second unit with the existing front unit and the provision of adequate off-street parking in garages that meets the code standard.

Providing sufficient off-street parking has been an issue in the Northend and Southeast neighborhoods lately as residents have complained about a lack of street parking and perceived increase in density. The proposal will add a second unit to the property in an RLM-2 residential zone that permits duplexes. Staff surveyed the one-block segment of Brayton Avenue surrounding the subject property and found that out of twelve residential lots, there are only two with single-family homes only with the rest being duplexes. Parking does not seem to be an issue on this block because the east side is composed of Reservoir Park so there are fewer homes than a typical street on the Northend. The addition of another duplex would make the property consistent with others on the street and not increase density. Staff's survey also included an inspection of rear units along the alley which identified an illegal garage conversion that is now being abated through code enforcement.

Approved:

Scott Charney

PREVIOUSLY APPROVED PLANS



Reginald McNulty
3347 Brayton Ave.
Signal Hill, CA 90755

PREVIOUSLY APPROVED PLANS

PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2001 EDITION OF THE UNIFORM BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE COUNTY OF ORANGE.
2. A COMPLETE PROJECT IS INTENDED. THE BUILDING IS TO BE READY FOR OCCUPANCY WHEN COMPLETED.
3. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
4. THE COMPLIANCE FORMS ARE PART OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT SPECIFIED REQUIREMENTS.
5. DO NOT SCALE OFF THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
6. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER/ARCHITECT IN WRITING PRIOR TO INSTALLATION.
7. G.C. SHALL COMPLY WITH ALL CITY APPROVED "CONDITIONS OF APPROVAL" RELATING TO THE CONSTRUCTION OF THIS PROJECT.
8. G.C. SHALL PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
9. THESE DOCUMENTS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT. (THE DIMENSIONS OF THE IMPROVEMENT, THE MAJOR ARCHITECTURAL ELEMENTS, THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENTS SHALL BE FINAL.
10. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE UBC, TITLE 24.
11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTIONS AFFECTED FROM THE ARCHITECT OR OTHER CLIENT APPROVED REPRESENTATIVE, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT.
12. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO THOSE AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, STATE ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
13. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF "CAL-OSHA".
14. CONTRACTOR SHALL DETERMINE, COORDINATE AND ACCOMMODATE ALL SERVICES (ELECTRICAL, GAS, TELEPHONE, TELEMETRY, ETC.) REQUIREMENTS FOR THE FACILITY WITH THE APPROPRIATE OWNERS REPRESENTATIVE PRIOR TO COMMENCING CONSTRUCTION.
15. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR ACCESSORIES, HANDRAILS, GRAB BARS, PLUMBING FIXTURES, CABINETS, LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT AND ALL OTHER ITEMS REQUIRED.
16. CONTRACTOR SHALL COORDINATE ALL WORK PROVIDED BY OTHERS.
17. ALL MANUFACTURED MATERIALS SHALL BE DELIVERED IN THE ORIGINAL PACKAGES, CONTAINERS, OR BUNDLES BEARING THE NAME OF THE MANUFACTURER OR BRAND.
18. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
19. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.
20. CHANGES OF TYPES OF FLOOR FINISHES SHALL BE MADE UNDER THRESHOLDS AT DOORS AND WHERE THRESHOLDS DO NOT OCCUR, AT CENTER OF DOORS.
21. CONTINUE 1/2" GYP. BD. BEHIND ALL WALL CABINETS, AND ELECTRICAL PANELS TO
22. WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2 1/2" MIN. CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN 90 DEGREES OPEN POSITION UNLESS DETAILED OR DIMENSIONED OTHERWISE.
23. DETAILS MARKED TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY DETAILED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.
24. DO NOT SCALE DRAWINGS AT THE JOB SITE.
25. ALL GLAZING SUBJECT TO IMPACT SHALL BE 1/4" TEMPERED GLASS.
26. SEPARATE PERMIT (S) ARE REQUIRED FOR ELECTRICAL, PLUMBING AND MECHANICAL PERMITS MUST BE OBTAINED BY LICENSED CONTRACTORS.
27. PLANS SHALL CONFORM TO 2001 CBC, CMC, CPC, OEC AND ALL APPLICABLE CITY OF INGLEWOOD ORDINANCES
28. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A PROOF VIEWER LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS. 91.6706
29. WOOD PANEL DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK. SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLIDS LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH 91.6709.1 ITEM 2
30. ANY RELEASE FOR METAL BRS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSET OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 91.6715.4
31. ELECTRICAL OUTLETS BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES WILL BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION. (T.V. TELEPHONE AND INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY)
32. NOTE: PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION
33. ALL EXISTING OVERHEAD UTILITIES EXCLUSIVELY SERVING THE SITE SHALL BE REMOVED AND ALL NEW ON SITE UTILITIES TO BE PROVIDED UNDERGROUND.
34. PAD ELEVATION IS TO BE VERIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO REQUESTING A FOUNDATION INSPECTION.
35. BUILDING HEIGHT IS TO BE VERIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO REQUESTING A FOUNDATION INSPECTION AND PRIOR TO REQUESTING A FRAMING INSPECTION.
36. ALL EXPOSED METAL FLASHING OR TRIM TO BE ANODIZED OR PAINTED TO MATCH BUILDING EXTERIOR.
37. ROOFTOP EQUIPMENT AND VENT STACKS SHALL BE PAINTED A NEUTRAL COLOR, SO AS TO NOT NEGATIVELY IMPACT VIEWS FROM THE PUBLIC RIGHT-OF-WAY. SUCH EQUIPMENT SHALL BE PAINTED AND/OR SCREENED SUBJECT TO THE APPROVAL OF THE PLANNING DEPARTMENT BASED ON FIELD INSPECTION.
38. FINAL ADEQUACY OF LANDSCAPE MATERIALS AND COVERAGE IS SUBJECT TO FIELD INSPECTION BY PLANNING DEPT. STAFF. ADDITIONAL LANDSCAPING FOUND NECESSARY UPON INSPECTION SHALL BE INSTALLED BY APPLICANT PRIOR TO OCCUPANCY.
39. THERE SHALL BE NO OUTDOOR STORAGE ON SITE.
40. EXTERIOR LIGHTING SHALL BE SHIELDED/DIRECTED SO AS NOT TO IMPACT ADJACENT PROPERTIES.

STANDARD SOUND RATED PARTITION ASSEMBLIES

1. THE TYPE AND SPACING OF RESILIENT CHANNELS AND CHIPS AND THE ATTACHMENT OF GYPSUM BOARD OR LATH SHALL BE AS REQUIRED FOR FIRE RATINGS
2. THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION RR-1-521B
3. NO TEST ON FILE TO JUSTIFY AN STC 50 WITH ONE 5/8" TYPE "X" GYPSUM BOARD EACH SIDE

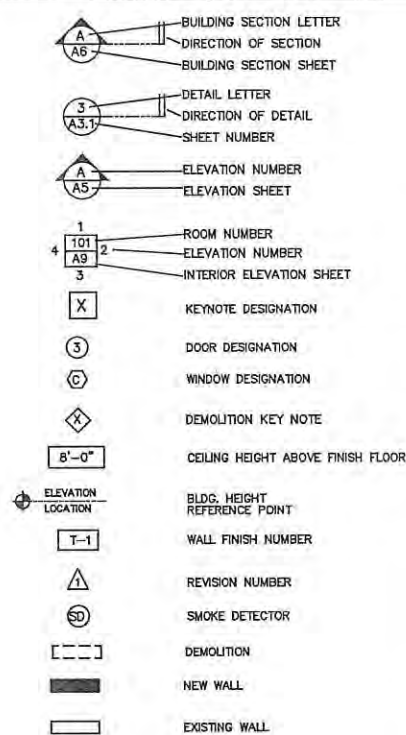
SOUND RATED PARTITIONS AND FLOOR-CEILING CONSTRUCTION

1. ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, LINED OR INSULATED WITH AN APPROVED PERMANENT RESILIENT SEALANT.
2. ALL RIGID CONDUITS, DUCTS, PLUMBING PIPES, APPLIANCE VENTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.
3. AN APPROVED PERMANENT AND RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS.
4. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE LINED (EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES, AND BATHROOMS NEED NOT BE LINED.)
5. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING PIPING, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCT. THIS REQUIREMENT IS NOT APPLICABLE TO FIRE SPRINKLER PIPE, GAS LINE OR ELECTRICAL CONDUIT.
6. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" RESILIENT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION.
7. NO WALL FURNACE SHALL BE INSTALLED IN SOUND RATED PARTITIONS.
8. NO ELECTRICAL PANEL SHALL BE INSTALLED IN SOUND RATED PARTITIONS.

ABBREVIATIONS

A.B.	ANCHOR BOLT	M.T.	METAL THRESHOLD
ABV	ABOVE	N.I.C.	NOT IN CONTRACT
A.C.T.	ACOUSTICAL CEILING TILE	N.O.	NUMBER
ADJ.	ADJUSTABLE, ADJACENT	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISH FLOOR	O	OWNER
A.C.	AIR CONDITIONING	OFF.	OFFICE
ANOD.	ANODIZED	O.C.	ON CENTER
ALUM/AL	ALUMINUM	O.C.F.I.	OWNER FURNISHED CONTR INSTALLED
APPROX.	APPROXIMATE	OPN'G.	OPENING
BD.	BOARD	OPP.	OPPOSITE
BM.	BEAM	O.A.	OVERALL
BLK.	BLOCK	O.A.H.	OVERALL HEIGHT
BLK'G.	BLOCKING	O.H.	OVERHEAD
BOT.	BOTTOM	P.C.C.	PORTLAND CEMENT CONC.
BLDG	BUILDING	P.G.	PAINT GRADE
B.N.	BOUNDARY NAIL	PR.	PAIR
CAB.	CABINET	PNL	PANEL
CLG.	CEILING	PART.	PARTITION
CEM.	CEMENT	PERF.	PERFORATION
C.F.	CURB FACE	PLAS.	PLASTER
C.	CENTERLINE	PTDF	PRESSURE TREATED DOUGLAS FIR
C.T.	CERAMIC TILE	PLYWD.	PLYWOOD
CLR.	CLEAR	PROP.	PROPERTY
COL.	COLUMN	P.L.	PROPERTY LINE
C.M.U.	CONCRETE MASONRY UNIT	P.V.C.	POLY VINYL CHLORIDE
CONC.	CONCRETE	R.	RISER
CONST.	CONSTRUCTION	REFR.	REFRIGERATOR
CONT.	CONTRACTOR	R.S.	REMOTE SENSOR
C.J.	CONTRACTOR OR CONTROL JOINT	REINF.	REINFORCING
CONTR.	CONTRACTOR	REQD.	REQUIRED
CORR.	CORRIDOR	RET.	RETURN
CTRD.	CENTERED	R.A.	RETURN AIR
DP.	DEEP	REV.	REVERSE
DET.	DETAIL	RCP	REFLECTED CEILING PLAN
DIAG.	DIAGONAL	R.D.	ROOF DRAIN
DIA.	DIAMETER	ROOF'G.	ROOFING
DIM.	DIMENSION	RM.	ROOM
DR.	DOOR	R.O.	ROUGH OPENING
DBL	DOUBLE	S.E.	SATIN ENAMEL
DN.	DOWN	SCHED.	SCHEDULE
D.S.	DIRECTIONAL SIGN.	SECT.	SECTION
DOWNSPOUT	DOWNSPOUT	S.G.E.	SEMI-GLOSS ENAMEL
DWG.	DRAWING	SHT'G.	SHEATHING
EA.	EACH	SHT.	SHEET
E.S.	EACH SIDE	S.C.R.	SILICONE CONTROL RECTIFIER
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	SIM.	SIMILAR
ELEC.	ELECTRICAL	SK.	SINK
E.P.	ELECTRICAL PANEL	S.D.	SOAP DISPENSER
EL	ELEVATION (GRADE)	SOL.	SOLID
ELEV.	ELEVATION (BLDG)	SPECS.	SPECIFICATIONS
E.N.	EDGE NAIL	SQ.	SQUARE
ENCL.	ENCLOSURE	S.S. S/S	STAINLESS STEEL
EQ.	EQUAL	STD.	STANDARD
EQUIP.	EQUIPMENT	STL.	STEEL
EXH.	EXHAUST	STOR.	STORAGE
EXIST.	EXISTING	ST.	STREET; STRAIN
E.J.	EXPANSION JOINT	STRUCT.	STRUCTURAL
EXP.	EXPOSED; EXPANSION	SUSP.	SUSPEND; SUSPENDED
EXT.	EXTERIOR	SW.	SWITCH
FIN.	FINISH	SYS.	SYSTEM
F.R.P.	FIBERGLASS REINFORCED PANEL	TEL.	TELEPHONE
F.F.	FINISH FLOOR	THERMO.	THERMOSTAT
F.E.	FIRE EXTINGUISHER	THK.	THICK
F.E.C.	FIRE EXTINGUISHER CABINET	THRU.	THROUGH
F.P.	FIRE PROOF	TOIL.	TOILET
FLASH	FLASHING	T.O.C.	TOP OF CURB
FLR.	FLOOR	T.O.P.	TOP OF PAVING
F.D.	FLOOR DRAIN	T.O.R.	TOP OF ROOF
F.S.	FLOOR SINK	T.O.P.	TOP OF PARAPET
FTG.	FOOTING	T.S.	TUBE STEEL
FDN.	FOUNDATION	T.O.W.	TOP OF WALL
F.O.F.	FACE OF FINISH	T.S.B.	TOP SET BASE
GA.	GAUGE	T.	TREAD
G.C.	GENERAL CONTRACTOR	T.S.	TUBULAR STEEL
GEN.	GENERAL	TYP.	TYPICAL
G.I.	GALVANIZED IRON	U.L.	UNDERWRITING LABORATORIES
GR.	GRASS; GLAZING; GLAZED	UNFIN.	UNFINISHED
GYP.	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
HDWR	HARDWARE	VENT.	VENTILATE; VENTILATION
H.D.	HUB DRAIN	VEST.	VESTIBULE
H.M.	HOLLOW METAL	V.W.C.	VINYL WALL COVERING
HORIZ.	HORIZONTAL	W.C.	WATERCLOSET
H.P.	HIGH POINT	W.P.	WATERPROOF
I/F	INTERFACE	W.W.F.	WELDED WIRE FABRIC
INS.	INSULATE; INSULATION	W.	WIDE; WIDTH
INT.	INTERIOR	W/O	WITH
JNT.	JOINT	W/O	WITHOUT
JST.	JOIST	WD.	WOOD
LAM.	LAMINATE; LAMINATED	W.I.C.	WALK-IN COOLER
L.P.	LOW POINT/LAMINATED PLASTIC	W.I.F.	WALK-IN FREEZER
LTG.	LIGHTING		
MFR.	MANUFACTURER		
MATL.	MATERIAL		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MET/MTL	METAL		
M.L.	METAL LATH		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MLDG.	MOULDING		

SYMBOLS



SHEET INDEX

T-1	COVER SHEET
ARCHITECTURAL	
A0	EXISTING SITE PLAN & PROPOSED NEW SITE PLAN
A1	PROPOSED NEW 3-CAR GARAGE FLOOR PLAN W/ PROPOSED NEW FLOOR PLAN ABOVE
A2	PROPOSED NEW UTILITY 3-CAR GARAGE FLOOR PLAN W/ PROPOSED NEW UTILITY FLOOR PLAN ABOVE
A3	PROPOSED NORTH, SOUTH, EAST & WEST EXTERIOR ELEVATION W/ PROPOSED NEW ROOF PLAN

PROJECT DESCRIPTION

LEGAL JURISDICTION:	COUNTY OF LOS ANGELES
YEAR OF EXISTING DWELL. BUILT:	1950
NO. OF STORIES:	1 (EXISTING)
EXISTING FRONT HOUSE FLOOR PLAN	768 S.F.
NEW MASTER BEDROOM ADDITION EXISTING HOUSE	307 S.F.
NEW 1 CAR GARAGE ADDITION EXISTING HOUSE	200 S.F.
NET NEW EXISTING HOUSE (MINUS GARAGE)	875 S.F.
EXISTING 3 CAR GARAGE FLOOR PLAN	725 S.F.
PROPOSED NEW 3 CAR GARAGE FLOOR PLAN	931 S.F.
PROPOSED NEW FLOOR ABOVE 3 CAR GARAGE	931 S.F.
NEW 1 CAR GARAGE ADDITION	200 S.F.
NEW MASTER BEDROOM ADDITION	307 S.F.
APN:	7148-016-029
LOT AREA:	5,104 S.F.
ZONE TYPE:	RLM-2

AREA ANALYSIS

HEIGHT OF NEW STRUCTURE	23'-3"
EXISTING SIDE YARD SET BACK	4'-6"
EXISTING FRONT YARD SET BACK	4'-0"
F.A.R.	.44
LOT COVERAGE	.39
OPEN SPACE	1,296
BUILDING SEPARATION	28'-0"

APPLICABLE CODES

NOTE: STATE OF CALIFORNIA CODES ARE STATE AMENDED AND REVISED MODEL CODES 1997 SUCH AS '97 UNIFORM BUILDING CODE '97, IS STATE AMENDED '98 CALIFORNIA BUILDING CODE, '98 CBC, ETC.

PROJECT TEAM

OWNER/APPLICANT:
Mr. Reginald McNulty
3347 Brayton Ave.
Signal Hill, Ca. 90755
PLAN PREPARER:
MELVIN WASHINGTON
25575 CALLE LUNA
MORENO VALLEY, CA. 92555

MUNICIPAL AGENCY CONTACTS

CITY OF SIGNAL HILL PLANNING DEPARTMENT
CONTACT:
TEL:
FAX:
CITY OF SIGNAL HILL BUILDING DEPARTMENT
CONTACT:
TEL:
FAX:

UTILITY CONTACTS

GAS:	TELEPHONE:
SO. CAL. GAS	PACIFIC BELL
TEL:	TEL: 1-800-310-2355
SEWER:	ELECTRIC:
CONTACT: OPERATOR	SOUTHERN CALIFORNIA EDISON
TEL:	TEL:
WATER:	
CONTACT: OPERATOR	
TEL:	



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CLIENT NAME
Mr. Reginald Mc Nutly
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SHEET NAME
TITLE SHEET

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB #
025-11

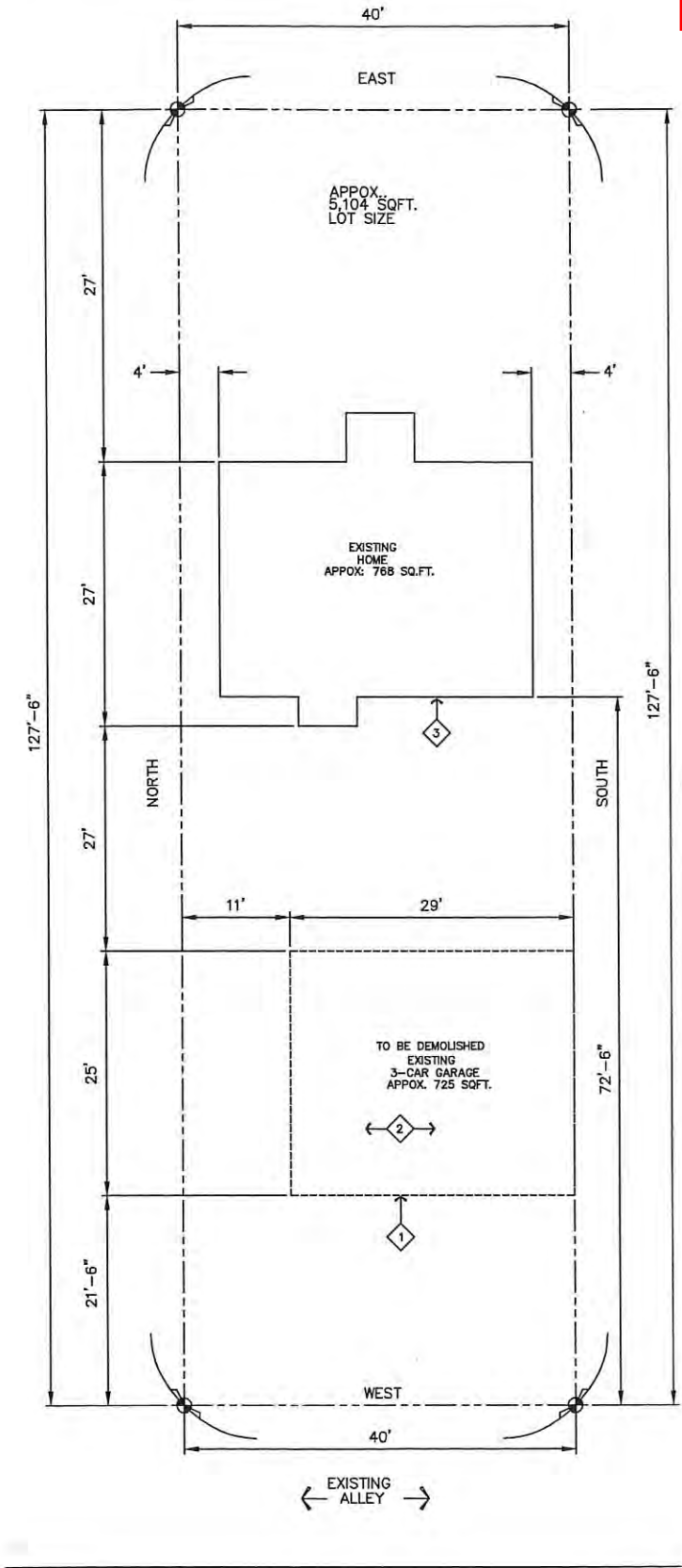
BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE

ISSUE DATE

SHEET NUMBER

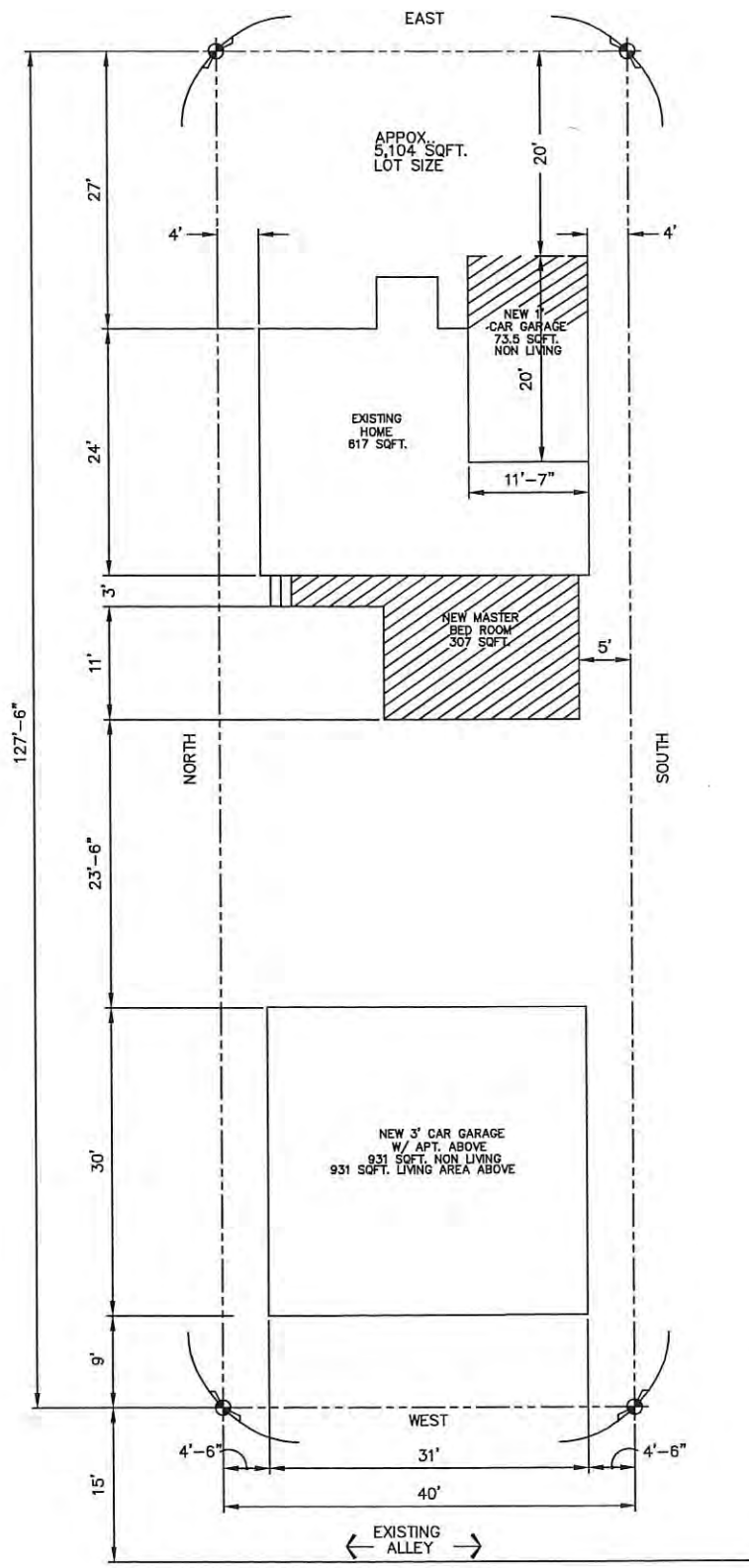
T1

PREVIOUSLY APPROVED PLANS



EXISTING SITE PLAN

N.T.S.
N
SCALE: 1/8" = 1'-0"



NEW SITE PLAN

N.T.S.
N
SCALE: 1/8" = 1'-0"

DEMOLITION KEY NOTES

- 1 EXISTING GARAGE TO BE REMOVED
- 2 EXISTING CONCRETE SLAB TO BE REMOVED
- 3 EXISTING HOUSE TO REMAIN
- 4 PROPOSED NEW WALK WAY

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Signal Hill, Ca. 90755

SHEET NAME
EXISTING SITE PLAN/DEMOLITION PLAN
& NEW SITE PLAN

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB #
025-11

BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE
ISSUE DATE

SHEET NUMBER

A0

The site plan shows a rectangular area divided into four lots, with dimensions and structures as follows:

- Lot 1 (Top Left):** 112 SQFT. FREE SPACE AREA TO BE TURFED. Dimensions: 16' wide, 7' deep. Adjacent to an existing home (307 SQFT.) and a new car garage (200 SQFT. NON LIVING).
- Lot 2 (Top Right):** 176 SQFT. FREE SPACE AREA TO BE TURFED. Dimensions: 16' wide, 11' deep. Adjacent to a new master bed room (307 SQFT.) and a new 3' car garage (931 SQFT. NON LIVING).
- Lot 3 (Bottom Left):** 944 SQFT. FREE SPACE AREA TO BE TURFED. Dimensions: 31' wide, 30'-1" deep. Adjacent to a new 3' car garage (931 SQFT. NON LIVING) and a new master bed room (307 SQFT.).
- Lot 4 (Bottom Right):** 931 SQFT. NON LIVING. Dimensions: 31' wide, 30'-1" deep. Adjacent to a new 3' car garage (931 SQFT. NON LIVING) and a new master bed room (307 SQFT.).

Overall dimensions and features include:

- Approx. 5,104 SQFT. LOT SIZE** (Total area).
- EXISTING HOME 307 SQFT.** (Top center).
- NEW 3' CAR GARAGE 931 SQFT. NON LIVING** (Bottom center).
- NEW MASTER BED ROOM 307 SQFT.** (Middle right).
- NEW 1 CAR GARAGE 200 SQFT. NON LIVING** (Top right).
- Dimensions:** 127'-6" (Total width), 15' (Total depth), 31' (Lot width), 30'-1" (Lot depth), 16' (Lot width), 11' (Lot depth), 7' (Lot depth), 4'-6" (Lot width), 4'-6" (Lot width), 4'-6" (Lot width), 4'-6" (Lot width).
- Orientation:** EAST, WEST, NORTH, SOUTH.
- Notes:** "APPROX. 5,104 SQFT. LOT SIZE", "EXISTING HOME 307 SQFT.", "NEW 3' CAR GARAGE 931 SQFT. NON LIVING", "NEW MASTER BED ROOM 307 SQFT.", "NEW 1 CAR GARAGE 200 SQFT. NON LIVING", "112 SQFT. FREE SPACE AREA TO BE TURFED", "176 SQFT. FREE SPACE AREA TO BE TURFED", "944 SQFT. FREE SPACE AREA TO BE TURFED", "931 SQFT. NON LIVING", "931 SQFT. LIVING AREA ABOVE".

- 1 EXISTING DOG EAR FENCE 5' HIGH
- 2 EXISTING DOG EAR GATE 5' HIGH
- 3 EXISTING BLOCK WALL 5' HIGH
- 4 NEW DOG EAR GATE 5' HIGH

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SHEET NAME
PROPOSED NEW HARD SCAPE PLAN

[illegible]


JOB #
025-11

BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE

SHEET NUMBER

A0.1

PROPOSED NEW HARD SCAPE PLAN

N.T.S.
N 
SCALE: 1/8" = 1'-0"

PREVIOUSLY APPROVED PLANS

FLOOR PLAN KEYNOTES

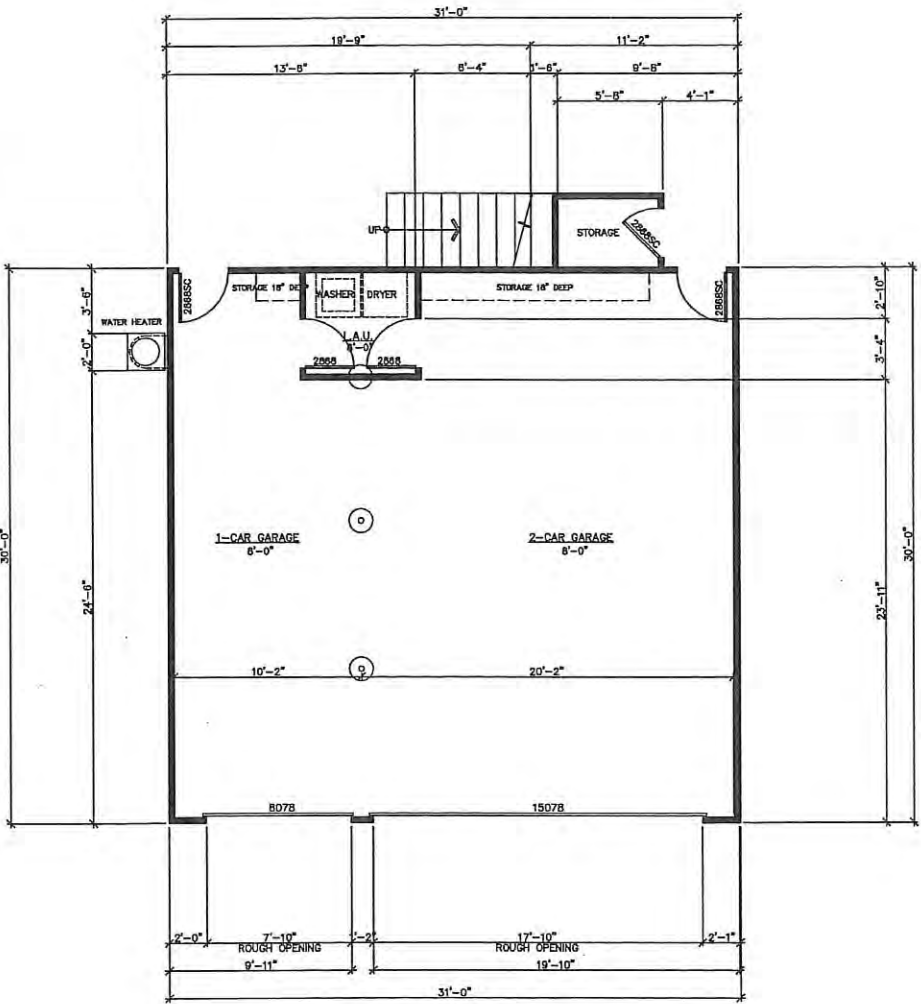
- 1 PROPOSED NEW FLOOR ABOVE
2 PROPOSED NEW FLOOR BELOW

ALL DIMENSIONS ARE TAKEN FROM FACE OF EXISTING FINISH OR FACE OF NEW STUDS UNLESS OTHERWISE NOTED.

SD ALL SMOKE DETECTOR HARDWARE W/ BATTERY BACKUP

--- DEMO WALLS
--- EXISTING WALLS
--- NEW WALLS

NOTE: GARAGE WITH AUTOMATIC DOOR OPENERS

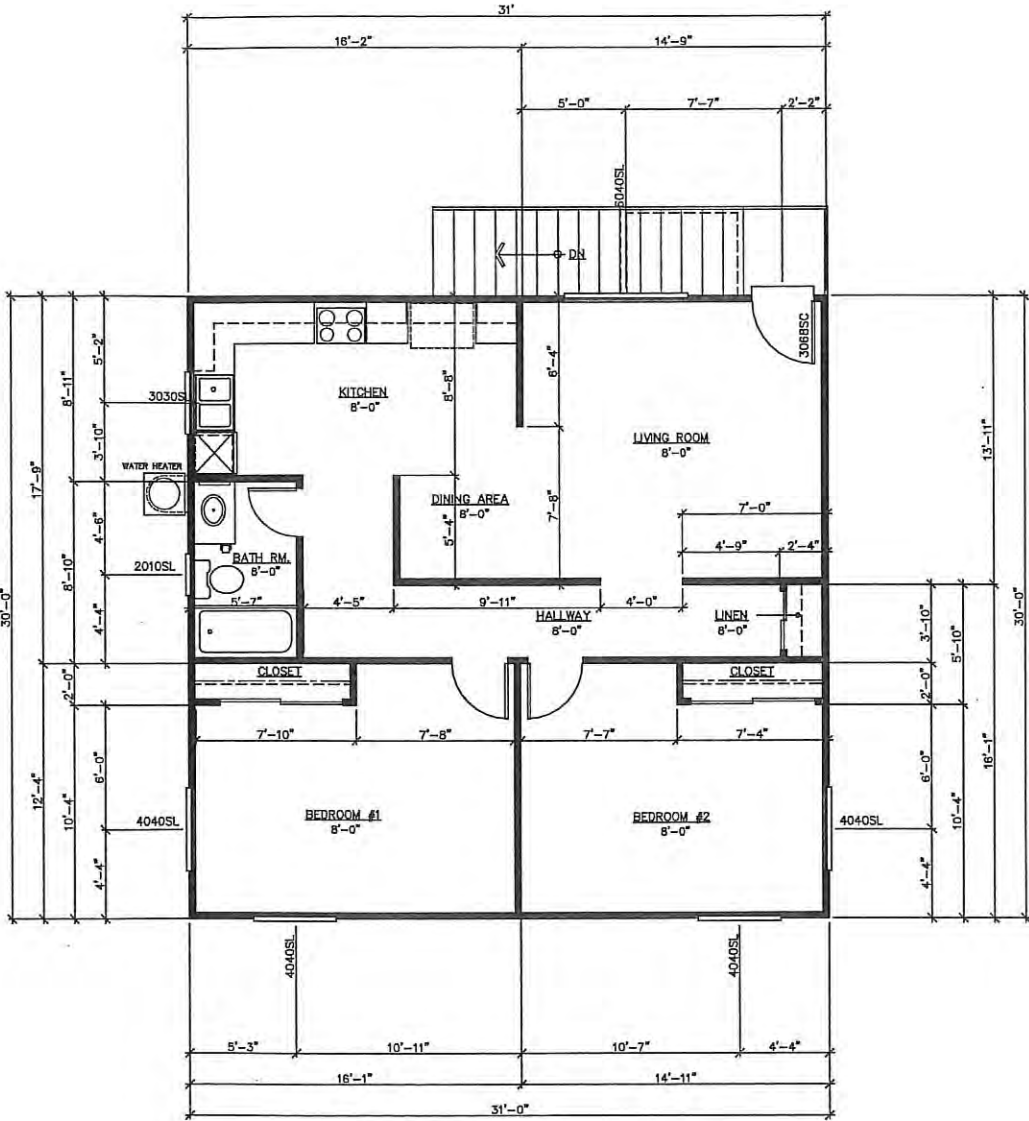


PROPOSED NEW 3-CAR GARAGE



SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS



PROPOSED NEW FLOOR PLAN



SCALE: 1/4" = 1'-0"

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SHEET NAME
PROPOSED NEW 3-CAR GARAGE W/
NEW FLOOR PLAN ABOVE

REVISIONS		
NO.	DATE	DESCRIPTION

025-11

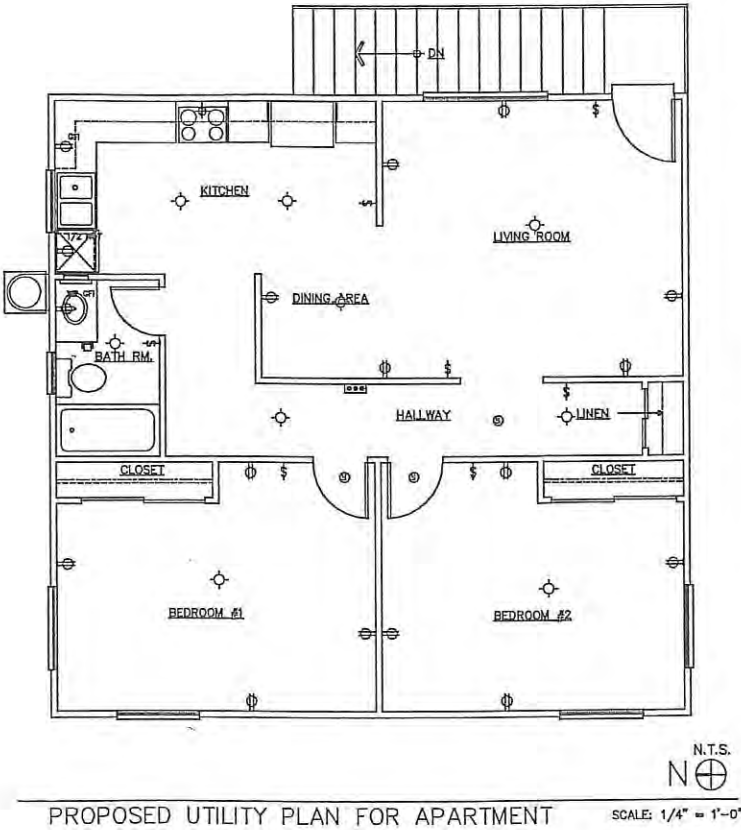
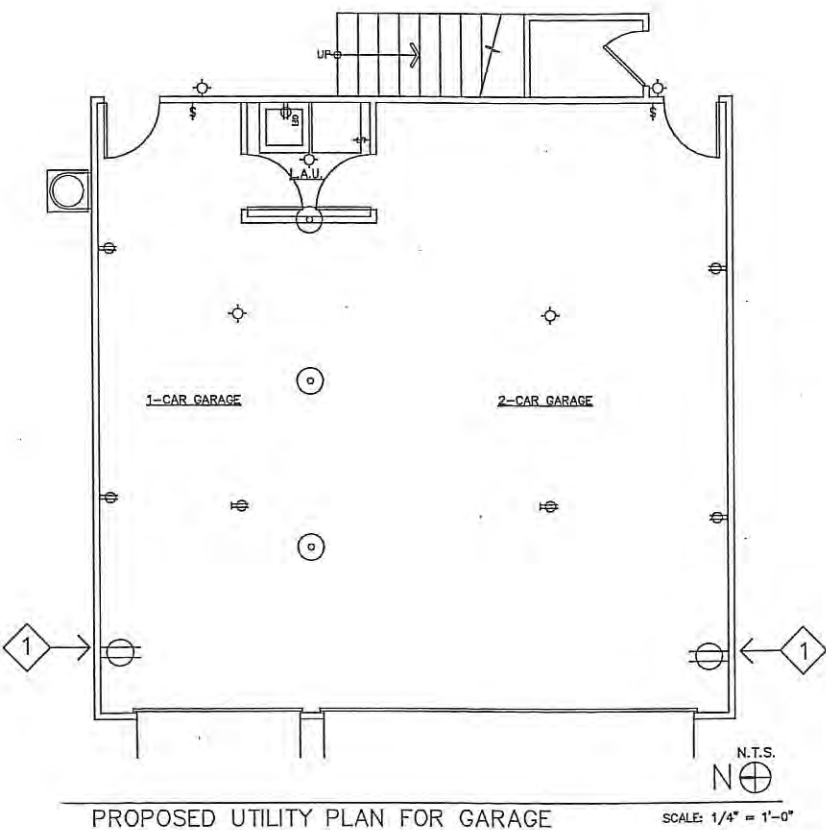
BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE

SHEET NUMBER

A1

PREVIOUSLY APPROVED PLANS

NOTE: 1 220 VOLT OUTLET HOME CHARGING UNIT FOR ELECTRIC VEHICLES



UTILITY LEGEND

- 120V DUPLEX CONVENIENCE RECEPTACLE
- 12" ABV. FIN. FLR. TYPICAL UNO.
- 120V RECEPTACLE W/ EPI CIRCUIT
- W/ WATER RESISTANT HOUSING
- 120V RECEPTACLE W/ GFI CIRCUIT
- 120V DUPLEX CONVENIENCE RECEPTACLE SWITCH CONTROLLED 1/2 HOT
- TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR. 6" ABOVE COUNTER UNO.
- WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN FLUORESCENT LIGHT COMBINATION
- HANGING INCANDESCENT LIGHT FIXTURE
- DOOR CHIME
- PUSH BUTTON
- SMOKE DETECTOR TO BE HARD WIRE WITH BATTERY BACK-UP (INSTALL AS PER 11 USC SECTION 510.4) INTERCONNECTED (FIREX SMOKE ALARM- MODEL FADG)

ELECTRICAL NOTES:

ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S) (PER 1999 NEC 210-12)

MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.

BATHROOM BRANCH CIRCUIT REQUIRED, THE BATHROOM RECEPTACLE(S) REQUIRED IN SECTION 210-52(d) MUST BE SUPPLIED BY A 20 AMPERE CIRCUIT THAT DOES NOT SUPPLY ANY OTHER LOAD.

REQUIRED FLOURESCENT LIGHTS SHALL NOT BE SCREW IN TYPE.

INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (IC) BY UL OR OTHER TESTING LAB RECOGNIZED BY I.C.B.O. (SECTION 150(K)(4)).

INCANDESCENT AND FLOURESCENT FIXTURES ARE NOT TO BE SWITCHED TOGETHER.

FIXTURES SHALL NOT CONTAIN MEDIUM-BASE INCANDESCENT LAMP SOCKETS.

PROVIDE AFC(Arc-Fault Circle Interrupter) RECEPTACLES PER NEC SECTION 210-12 IN ALL DWELLING UNIT BEDROOMS.

LIGHTING FIXTURES IN CLOTHES CLOSETS TO COMPLY W/NEC SECTION 410-5

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SHEET NAME
PROPOSED NEW UTILITY FOR 3-CAR GARAGE
PROPOSED NEW UTILITY FLOOR FOR ABOVE

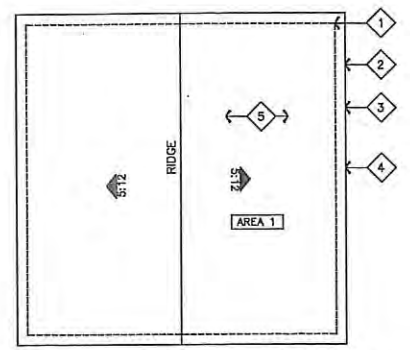
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NO.	DATE	DESCRIPTION

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025-11

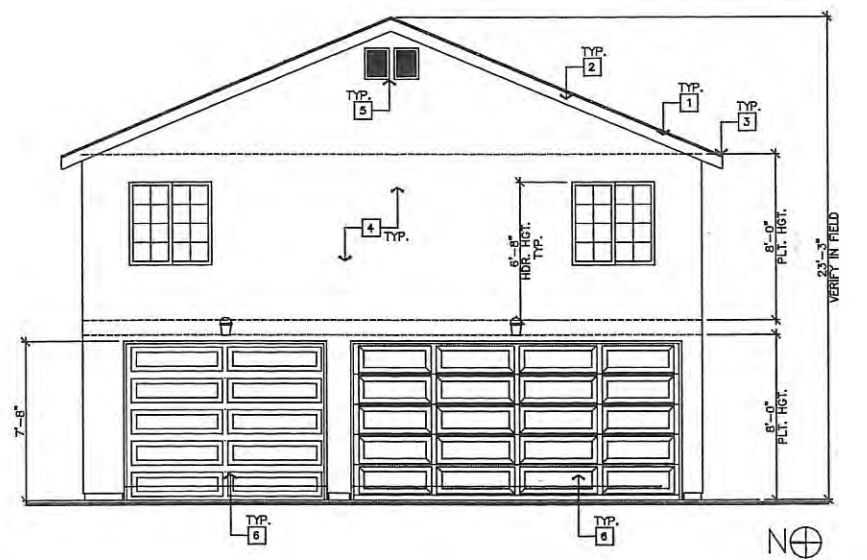
BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE
ISSUE DATE

SHEET NUMBER
A2

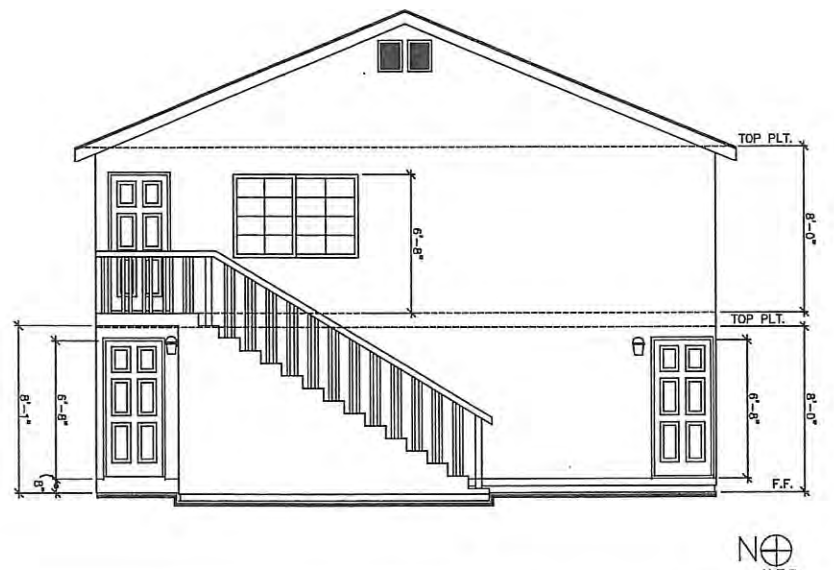
PREVIOUSLY APPROVED PLANS



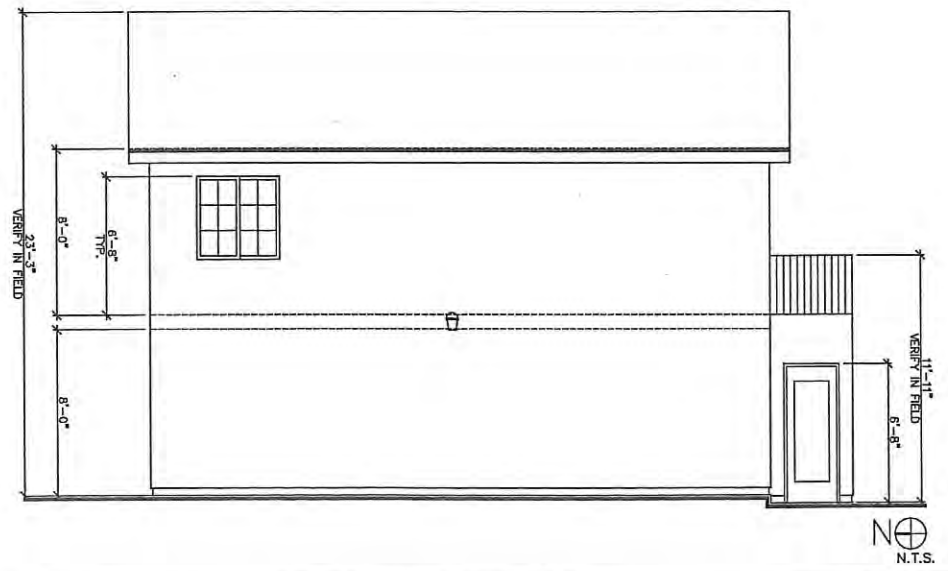
PROPOSED NEW ROOF PLAN
N.T.S.
SCALE: 1/8" = 1'-0"



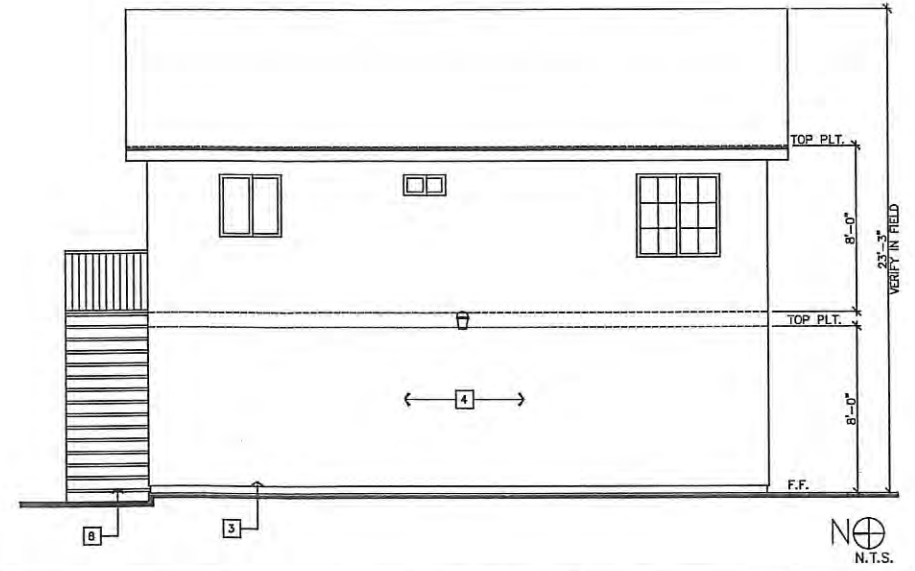
WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- ELEVATION KEY NOTES
- 1 ROOFING MATERIAL
 - 2 2X FASCIA/BARGEBOARD
 - 3 GUTTER (LOCATION TO BE VERIFY BY INSTALLER)
 - 4 EXTERIOR PLASTER (MATCH EXISTING COLOR)
 - 5 14X18 ATTIC VENT
 - 6 PROPOSED NEW GARAGE DOORS (BY OWNER)

- ROOF KEY NOTES
- 1 LINE OF ROOF
 - 2 LINE OF WALL BELOW
 - 3 GUTTERS (LOCATION TO BE VERIFY BY INSTALLER)
 - 4 2X8 FASCIA
 - 5 ROOF COVERING (COMP. SHINGLE CLASS "B" ROOFING)

ATTIC VENT CALCULATION

ROOF PLAN NOTES

5:12 INDICATES ROOF SLOPE AND DIRECTION, U.N.O.

ROOF MATERIAL: COMP. SHINGLES CLASS "B" (I.C.B.O. # ER-2093)

12" (INCHES) TYPICAL ROOF OVERHANG AT RAKE, UNLESS NOTED OTHERWISE

12" (INCHES) TYPICAL ROOF OVERHANG AT EAVE, UNLESS NOTED OTHERWISE

ATTIC VENT CALCULATION

PROVIDE 1 SQ. IN. OF VENTILATION PER 300 SQ. IN. OF ATTIC SPACE. PROVIDE THAT 50% OF THE REQ. VENTILATION AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC, (HIGH VENTING) AT 3'-0" ABOVE EAVE VENT WITH THE BALANCE BEING PROVIDED BY EAVE VENTS, (LOW VENTING) PER U.B.C. SECTION 1505.3.

CALCULATION BY 1/150, HIGH/LOW VENTING NOT REQUIRED.

AREA 1

VENTILATION REQUIRED:
ATTIC AREA = 800 SQ. FT. / 150 = 5.33 SQ. FT.
X 144 = 768 SQ. IN.

VENTILATION PROVIDED:
LOW
(2) LOW PROFILE DOWERVENTS 120 SQ. IN. EA. = 240 SQ. IN.

19"x27" OPENING FOR DOWER LOW PROFILE VENT(S) - FIELD VERIFY LOCATIONS

PLANS PREPARED BY :
MELVIN WASHINGTON
25775 CALLE LUNA
MORENO VALLEY, CA 92555
(951) 488-0082

CLIENT NAME
Mr. Reginald Mc Nutly
3347 Brayton Ave.
Signal Hill, Ca. 90755

SHEET NAME
NEW EXTERIOR ELEVATIONS & ROOF PLAN

REVISIONS

NO.	DATE	DESCRIPTION

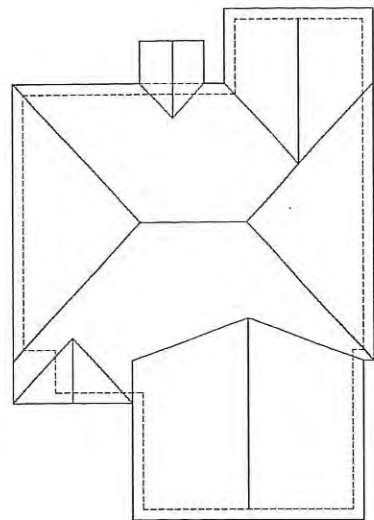
JOB #
025-11

BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE

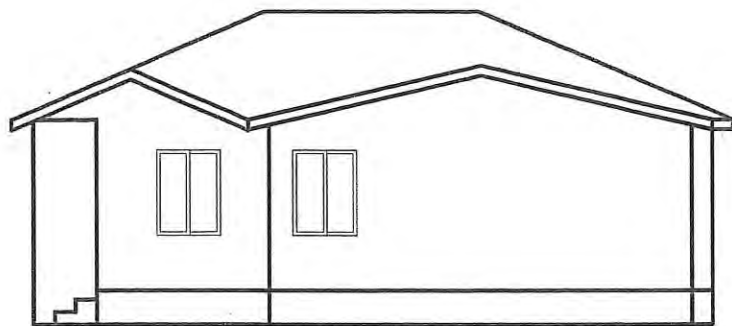
ISSUE DATE

SHEET NUMBER
A3

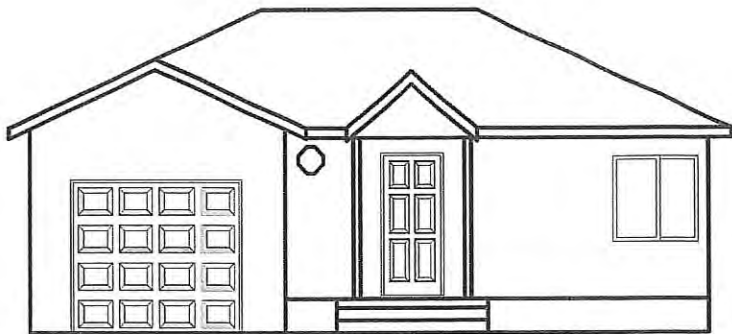
PREVIOUSLY APPROVED PLANS



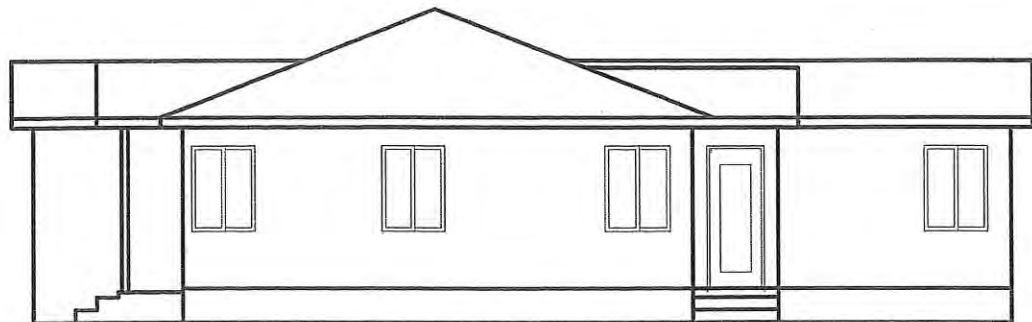
PROPOSED NEW ROOF PLAN
N.T.S.
SCALE: 1/8" = 1'-0"



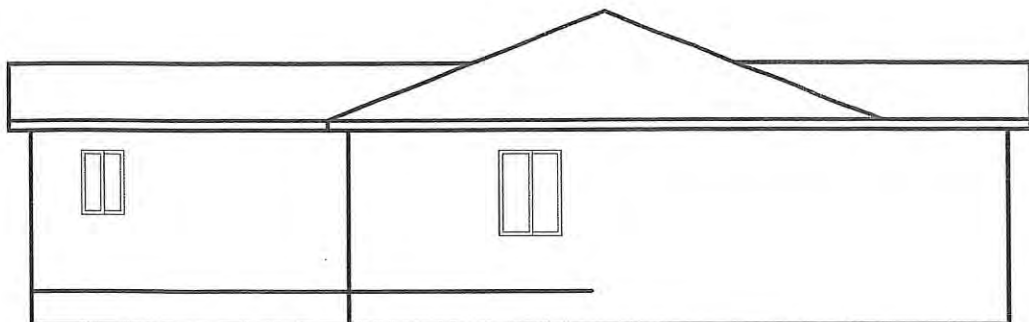
WEST ELEVATION
N.T.S.
SCALE: 1/4" = 1'-0"



EAST ELEVATION
N.T.S.
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
N.T.S.
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
N.T.S.
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 ROOFING MATERIAL
- 2 2X FASCIA/BARGEBOARD
- 3 GUTTER (LOCATION TO BE VERIFY BY INSTALLER)
- 4 EXTERIOR PLASTER (MATCH EXISTING COLOR)
- 5 14X18 ATTIC VENT
- 6 PROPOSED NEW GARAGE DOORS (BY OWNER)

ROOF KEY NOTES

- 1 LINE OF ROOF
- 2 LINE OF WALL BELOW
- 3 GUTTERS (LOCATION TO BE VERIFY BY INSTALLER)
- 4 2XB FASCIA
- 5 ROOF COVERING (COMP. SHINGLE CLASS "B" ROOFING)

PLANS PREPARED BY:
MELVIN WASHINGTON
28715 CALLE LUNA
MORENO VALLEY, CA 92555
(951) 488-0082

CLIENT NAME
Mr. Reginald Mc Nutly
3347 Brayton Ave.
Signal Hill, Ca. 90755

SHEET NAME
NEW EXTERIOR ELEVATIONS & ROOF PLAN
AT FRONT HOUSE

REVISIONS		
NO.	DATE	DESCRIPTION
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		

JOB #
025-11

BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE

ISSUE DATE

SHEET NUMBER

A4

PREVIOUSLY APPROVED PLANS

FLOOR PLAN KEYNOTES

- 1 PROPOSED NEW FLOOR ABOVE
- 2 PROPOSED NEW FLOOR BELOW

ALL DIMENSIONS ARE TAKEN FROM FACE OF EXISTING FINISH OR FACE OF NEW STUDS UNLESS OTHERWISE NOTED.

SD ALL SMOKE DETECTOR HARDWARE W/ BATTERY BACKUP

----- DEMO WALLS
===== EXISTING WALLS
===== NEW WALLS

PLANS PREPARED BY :
MELVIN WASHINGTON
25775 CALLE LUNA
MORENO VALLEY, CA 92555
(951) 488-0082

CLIENT NAME
Mr. Reginald Mc Nutly
3347 Brayton Ave.
Signal Hill, Ca. 90755

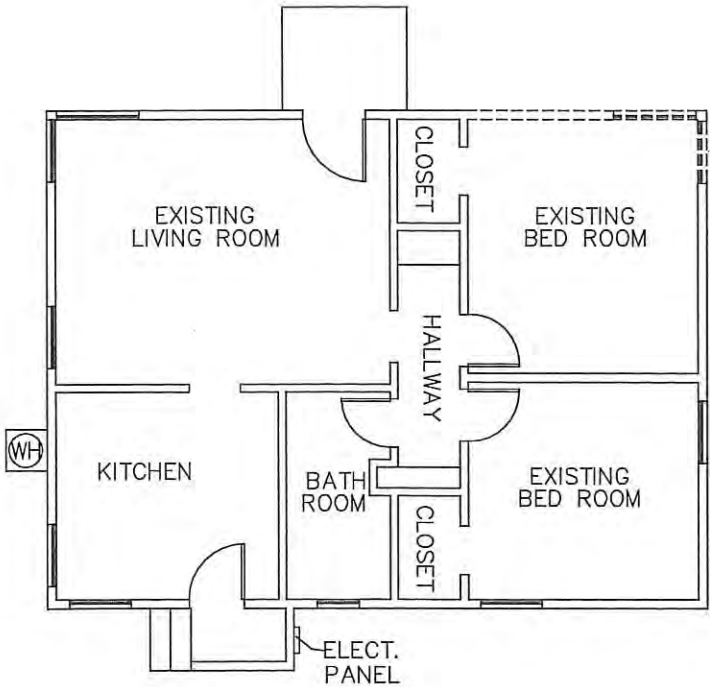
SHEET NAME
EXISTING & DEMOLITION PLAN AT FRONT HOUSE
PROPOSED NEW FLOOR AT FRONT HOUSE

REVISIONS		
NO.	DATE	DESCRIPTION

JOB #
025-11

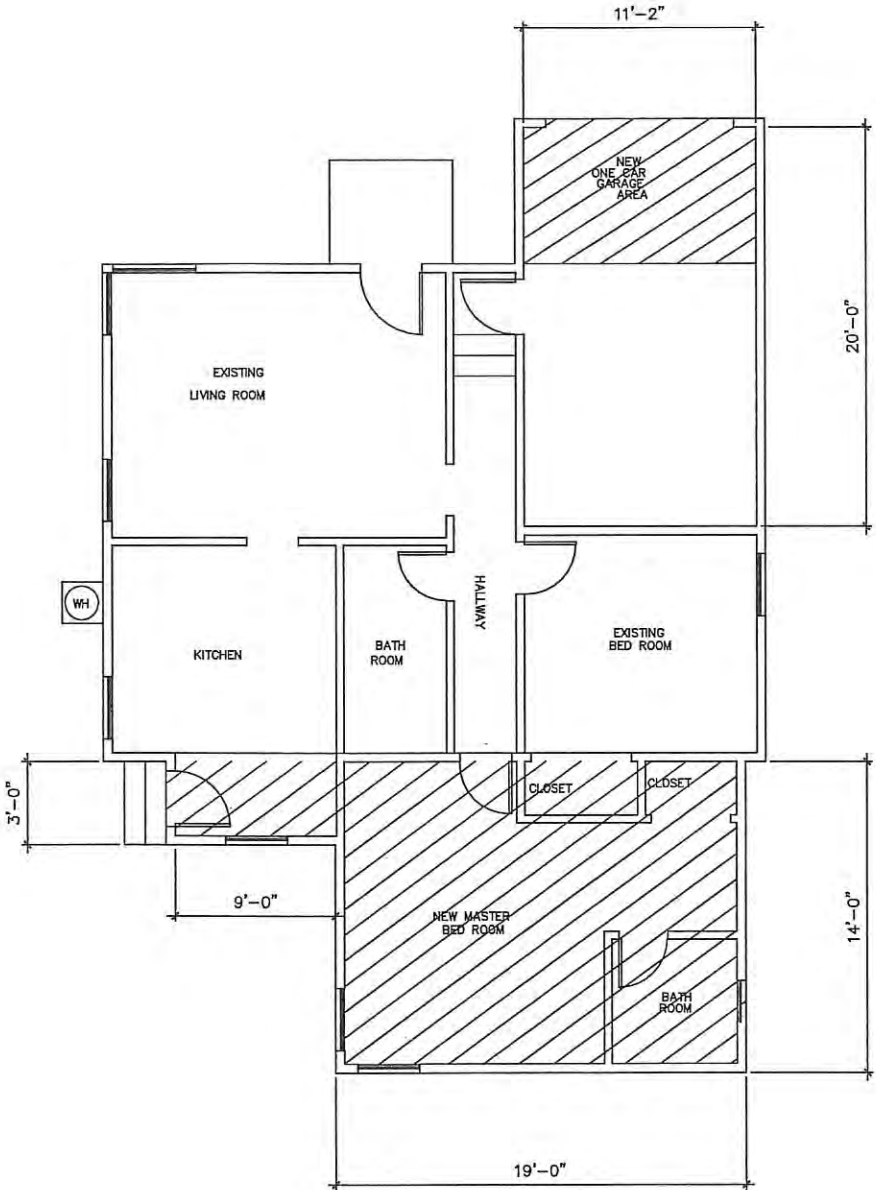
BUILDING TYPE
2 BEDROOM
APARTMENT
OVER GARAGE

SHEET NUMBER
A5



EXISTING & DEMOLITION FLOOR PLAN AT FRONT HOUSE
N.T.S.
SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY
ALL DIMENSIONS



PROPOSED NEW FLOOR PLAN AT FRONT HOUSE
N.T.S.
SCALE: 1/4" = 1'-0"

Signal Hill Planning Commission
2175 Cherry Ave.
Signal Hill, Ca. 90755

March 4, 2015

I, Reginald McNulty would like to thank the Signal Hill Planning Commission for considering my request for this modification to the previously approved property renovations at my home located at 3347 Brayton Avenue, Signal Hill, Ca. 90755.

My approved property renovations were as follows:

Existing front property (approved renovation)

- Add 1 single car garage
- Expansion of existing kitchen
- Add additional bedroom

Existing front property modification request

- Add 2nd story to existing front property (with balcony)
 1. 3 bedrooms
 2. 1 bathroom

Reasons for modification and time lapse:

- Marketability of asset
 - In order to take advantage of the asset's true value, 3 bedrooms and 2 baths provides the best value solution for a long term hold for the property. Also, by adding a balcony to the master bedroom will take advantage of the view of the park (Reservoir Park).
- Functionality
 - The previous design allowed for a new decent size bedroom and an existing bedroom that is considered small in my estimation. The new design will allow for functional bedrooms with adequate closet and storage space.
- Challenging contractor
 - Change orders request, time extensions and disputes caused a substantial delay in completing the first phase of the project. The financing vehicle that was used (FHA 203k plan), the conflict resolution method was very timely. January 2013 the contractor walked off the job. This lead to a freeze of funds until disputes was settled. During this period of dispute I had to use my reserve funds to complete the construction. I'm pleased to say the contractor settled before arbitration.
 - Closing out the construction loan and re-design of architectural plans has taken me to this point.

I am committed to fulfilling my obligation of abiding by the "off-street parking" regulations. By financing this project myself will allow me to have full control of the contractor. I will have contingency funds available to address unforeseen conditions which will mitigate untimely delays and extensions. I'm hopeful that my request for modification is approved which will allow me to take full advantage of my asset.

Respectfully,


Reginald McNulty

PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2001 EDITION OF THE UNIFORM BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE COUNTY OF ORANGE.
2. A COMPLETE PROJECT IS INTENDED. THE BUILDING IS TO BE READY FOR OCCUPANCY WHEN COMPLETED.
3. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
4. THE COMPLIANCE FORMS ARE PART OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT SPECIFIED REQUIREMENTS.
5. DO NOT SCALE OFF THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
6. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER/ARCHITECT IN WRITING PRIOR TO INSTALLATION.
7. G.C. SHALL COMPLY WITH ALL CITY APPROVED "CONDITIONS OF APPROVAL" RELATING TO THE CONSTRUCTION OF THIS PROJECT.
8. G.C. SHALL PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
9. THESE DOCUMENTS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT. (THE DIMENSIONS (OF THE IMPROVEMENT, THE MAJOR ARCHITECTURAL ELEMENTS, THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENTS SHALL BE FINAL.
10. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE UBC, TITLE 24.
11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTIONS AFFECTED FROM THE ARCHITECT OR OTHER CLIENT APPROVED REPRESENTATIVE, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT.
12. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO THOSE AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, STATE ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
13. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF "CAL-OSHA".
14. CONTRACTOR SHALL DETERMINE, COORDINATE AND ACCOMMODATE ALL SERVICES (ELECTRICAL, GAS, TELEPHONE, TELEMETRY, ETC.) REQUIREMENTS FOR THE FACILITY WITH THE APPROPRIATE OWNERS REPRESENTATIVE PRIOR TO COMMENCING CONSTRUCTION.
15. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR ACCESSORIES, HANDRAILS, GRAB BARS, PLUMBING FIXTURES, CABINETS, LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT AND ALL OTHER ITEMS REQUIRED.
16. CONTRACTOR SHALL COORDINATE ALL WORK PROVIDED BY OTHERS.
17. ALL MANUFACTURED MATERIALS SHALL BE DELIVERED IN THE ORIGINAL PACKAGES, CONTAINERS, OR BUNDLES BEARING THE NAME OF THE MANUFACTURER OR BRAND.
18. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
19. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.
20. CHANGES OF TYPES OF FLOOR FINISHES SHALL BE MADE UNDER THRESHOLDS AT DOORS AND WHERE THRESHOLDS DO NOT OCCUR, AT CENTER OF DOORS.
21. CONTINUE 1/2" GYP. BD. BEHIND ALL WALL CABINETS, AND ELECTRICAL PANELS TO
22. WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2 1/2" MIN. CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN 90 DEGREES OPEN POSITION UNLESS DETAILED OR DIMENSIONED OTHERWISE.
23. DETAILS MARKED TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY DETAILED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.
24. DO NOT SCALE DRAWINGS AT THE JOB SITE.
25. ALL GLAZING SUBJECT TO IMPACT SHALL BE 1/4" TEMPERED GLASS.
26. SEPARATE PERMIT (S) ARE REQUIRED FOR ELECTRICAL, PLUMBING AND MECHANICAL. PERMITS MUST BE OBTAINED BY LICENSED CONTRACTORS.
27. PLANS SHALL CONFORM TO 2001 CBC, CMC, CPC, CEC AND ALL APPLICABLE CITY OF INGLEWOOD ORDINANCES
28. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR, SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THOUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THOUGH VIEW PORTS. 91.6706
29. WOOD PANEL DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK. SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLIDS LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH 91.6709.1 ITEM 2
30. ANY RELEASE FOR METAL BRVS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSET OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 91.6715.4

- 31.ELECTRICAL OUTLETS BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES WILL BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION. (T.V., TELEPHONE AND INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY
32. NOTE: PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION

STANDARD SOUND RATED
PARTITION ASSEMBLIES

1. THE TYPE AND SPACING OF RESILIENT CHANNELS AND CHIPS AND THE ATTACHMENT OF GYPSUM BOARD OR LATH SHALL BE AS REQUIRED FOR FIRE RATINGS
2. THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION RR-1-521B
3. NO TEST ON FILE TO JUSTIFY AN STC 50 WITH ONE 5/8" TYPE "X" GYPSUM BOARD EACH SIDE

SOUND RATED PARTITIONS AND
FLOOR-CEILING CONSTRUCTION

1. ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, LINED OR INSULATED WITH AN APPROVED PERMANENT RESILIENT SEALANT.
2. ALL RIGID CONDUITS, DUCTS, PLUMBING PIPES, APPLIANCE VENTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.
3. AN APPROVED PERMANENT AND RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS.
4. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE LINED (EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES, AND BATHROOMS NEED NOT BE LINED.)
5. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING PIPING, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCT. THIS REQUIREMENT IS NOT APPLICABLE TO FIRE SPRINKLER PIPE, GAS LINE OR ELECTRICAL CONDUIT.
6. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" RESILIENT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION.
7. NO WALL FURNACE SHALL BE INSTALLED IN SOUND RATED PARTITIONS.
8. NO ELECTRICAL PANEL SHALL BE INSTALLED IN SOUND RATED PARTITIONS.

A.B. ANCHOR BOLT

ABV ABOVE

A.C.T. ACOUSTICAL CEILING TILE

ADJ. ADJUSTABLE, ADJACENT

A.F.F. ABOVE FINISH FLOOR

A.C. AIR CONDITIONING

ANOD. ANODIZED

ALUM/AL ALUMINUM

APPROX. APPROXIMATE

BD. BOARD

BM. BEAM

BLK. BLOCK

BLK'G. BLOCKING

BOT. BOTTOM

BLDG. BUILDING

B.N. BOUNDARY NAIL

CAB. CABINET

CLG. CEILING

CEM. CEMENT

C.F. CURB FACE

CL CENTERLINE

C.T. CERAMIC TILE

CLR. CLEAR

COL. COLUMN

C.M.U. CONCRETE MASONRY UNIT

CONC. CONCRETE

CONST. CONSTRUCTION

CONT. CONTINUOUS

C.J. CONTROL JOINT

CONTR. CONTRACTOR

CORR. CORRIDOR

CTRD. CENTERED

DP. DEEP

DET. DETAIL

DIAG. DIAGONAL

DIA. DIAMETER

DIM. DIMENSION

DR. DOOR

DBL. DOUBLE

DN. DOWN

D.S. DIRECTIONAL SIGN,

DOWNSPOUT

DWG. DRAWING

EA. EACH

E.S. EACH SIDE

E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM

ELEC. ELECTRICAL

E.P. ELECTRICAL PANEL

EL. ELEVATION (GRADE)

ELEV. ELEVATION (BLDG)

E.N. EDGE NAIL

ENCL. ENCLOSURE

EQ. EQUAL

EQUIP. EQUIPMENT

EXH. EXHAUST

EXIST. EXISTING

E.J. EXPANSION JOINT

EXP. EXPOSED; EXPANSION

EXT. EXTERIOR

FIN. FINISH

F.R.P. FIBERGLASS REINFORCED PANEL

F.F. FINISH FLOOR

F.E. FIRE EXTINGUISHER

F.E.C. FIRE EXTINGUISHER CABINET

F.P. FIRE PROOF

FLASH FLASHING

FLR. FLOOR

F.D. FLOOR DRAIN

F.S. FLOOR SINK

FTG. FOOTING

FDN. FOUNDATION

F.O.F. FACE OF FINISH

GA. GAUGE

G.C. GENERAL CONTRACTOR

GEN. GENERAL

G.I. GALVANIZED IRON

GR. GRASS; GLAZING; GLAZED

GYP. GYPSUM

HDWR. HARDWARE

H.D. HUB DRAIN

H.M. HOLLOW METAL

HORIZ. HORIZONTAL

H.P. HIGH POINT

HT. HEIGHT

I/F. INTERFACE

INS. INSULATE; INSULATION

INT. INTERIOR

JNT. JOINT

JST. JOIST

LAM. LAMINATE; LAMINATED

L.P. LOW POINT/LAMINATED PLASTIC

LTG. LIGHTING

MFR. MANUFACTURER

MAT'L. MATERIAL

MAX. MAXIMUM

MECH. MECHANICAL

MEMB. MEMBRANE

MET/MTL METAL

M.L. METAL LATH

MIN. MINIMUM

MISC. MISCELLANEOUS

MLDG. MOULDING

M.T. METAL THRESHOLD

N.I.C. NOT IN CONTRACT

NO. NUMBER

N.T.S. NOT TO SCALE

O. OFFICE

OFF. ON CENTER

O.C. OWNER FURNISHED

OFCI CONTR' INSTALLED

OPN'G. OPENING

OPP. OPPOSITE

O.A. OVERALL

O.A.H. OVERALL HEIGHT

O.H. OVERHEAD

P.C.C. PORTLAND CEMENT CONC.

P.G. PAINT GRADE

PR. PAIR

PNL. PANEL

PART. PARTITION

PERF. PERFORATION

PLAS. PLASTER

PTDF. PRESSURE TREATED DOUGLAS FIR

PLYWD. PLYWOOD

CLER. CLEAR

PROP. PROPERTY

P.L. PROPERTY LINE

P.V.C. POLY VINYL CHLORIDE

R. RISER

REFR. REFRIGERATOR

R.S. REMOTE SENSOR

REINF. REINFORCING

REQ'D. REQUIRED

RET. RETURN

R.A. RETURN AIR

REV. REVERSE

RCP. REFLECTED CEILING PLAN

R.D. ROOF DRAIN

ROOF'G. ROOFING

RM. ROOM

R.O. ROUGH OPENING

S.E. SATIN ENAMEL

SCHED. SCHEDULE

SECT. SECTION

S.G.E. SEMI-GLOSS ENAMEL

SHT'G. SHEATHING

SHT. SHEET

S.C.R. SILICONE CONTROL RECTIFIER

SIM. SIMILAR

SK. SINK

S.D. SOAP DISPENSER

SOL. SOLID

SPECS. SPECIFICATIONS

SQ. SQUARE

S.S. S/S STAINLESS STEEL

STD. STANDARD

STL. STEEL

STOR. STORAGE

ST. STREET; STRAIN

STRUCT. STRUCTURAL

SUSP. SUSPEND; SUSPENDED

SW. SWITCH

SYS. SYSTEM

TEL. TELEPHONE

THERMO. THERMOSTAT

THK. THICK

THRU. THROUGH

TOIL. TOILET

T.O.C. TOP OF CURB

T.O.P. TOP OF PAVING

T.O.R. TOP OF ROOF

T.O.P. TOP OF PARAPET

T.S. TUBE STEEL

T.O.W. TOP OF WALL

T.S.B. TOP SET BASE

T. TREAD

T.S. TUBULAR STEEL

TYP. TYPICAL

U.L. UNDERWRITING LABORATORIES

UNFIN. UNFINISHED

U.O.N. UNLESS OTHERWISE NOTED

VENT. VENTILATE; VENTILATION

VEST. VESTIBULE

V.W.C. VINYL WALL COVERING

W.C. WATERCLOSET

W.P. WATERPROOF

W.W.F. WELDED WIRE FABRIC

W. WIDE; WIDTH

W/ WITH

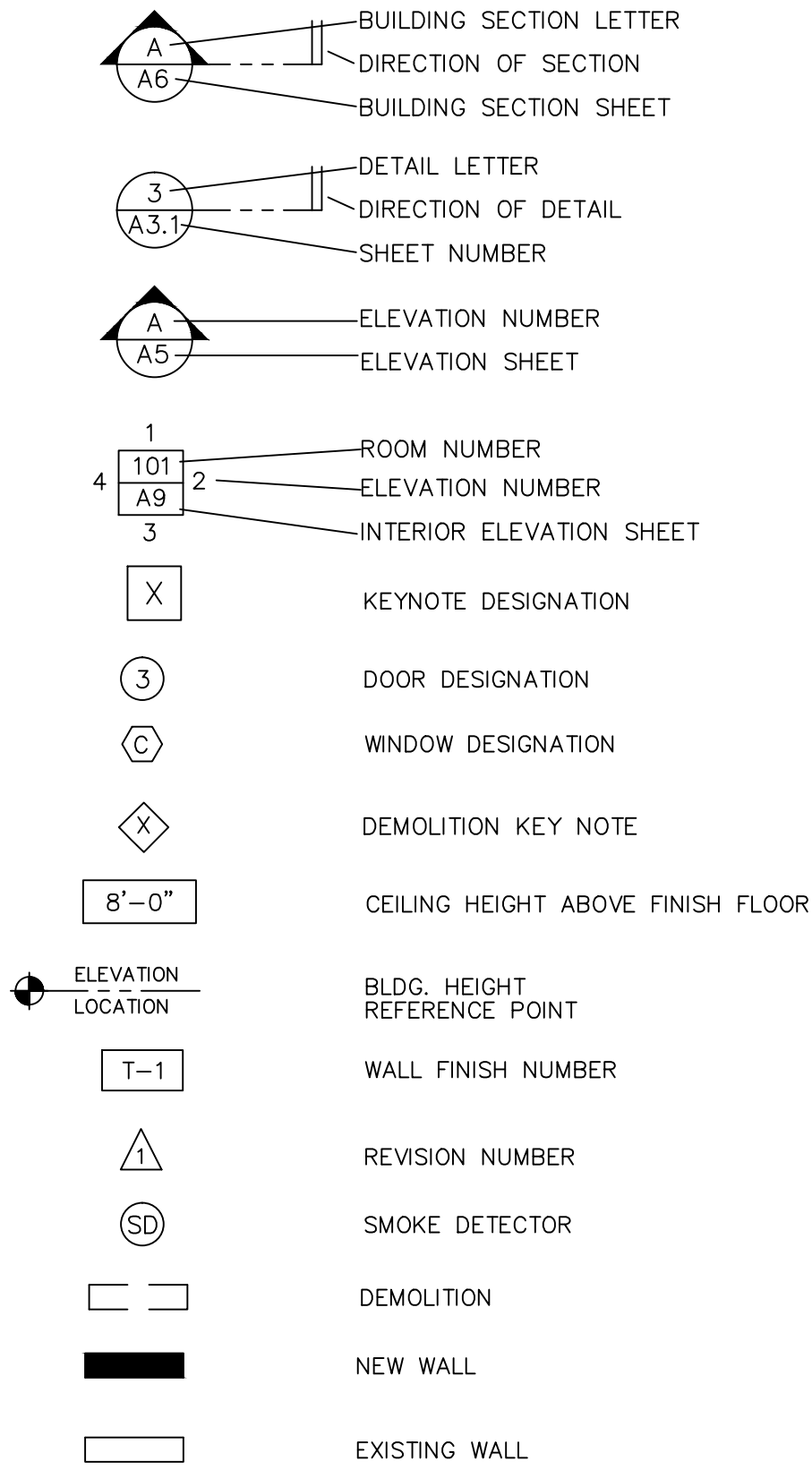
W/O WITHOUT

WD. WOOD

W.I.C. WALK-IN COOLER

W.I.F. WALK-IN FREEZER

SYMBOLS



SHEET INDEX

- T-1 COVER SHEET
- ARCHITECTURAL
- A0.1 PROPOSED NEW HARDSCAPE PLAN
- A4 PROPOSED DEMOLITION PLAN
- A5 PROPOSED NEW FLOOR PLAN W/ NEW ROOF PLAN
- A5.1 PROPOSED NORTH, SOUTH , EAST & WEST EXTERIOR ELEVATION

PROJECT DESCRIPTION

LEGAL JURISDICTION:	COUNTY OF LOS ANGELES
YEAR OF EXISTING DWELL BUILT:	1950
NO. OF STORIES:	1 (EXISTING)
EXISTING FRONT HOUSE FLOOR PLAN	768 S.F.
NEW FRONT HOUSE WITH DEN ADDITION FIRST FLOOR	849 S.F.
NEW 3 BEDROOM 1 BATH SECOND FLOOR	731 S.F.
NEW 1 CAR GARAGE ADDITION FIRST FLOOR	240 S.F.
NET NEW EXISTING HOUSE (MINUS GARAGE)	1,580 S.F.
EXISTING 3 CAR GARAGE	931 S.F.
EXISTING 2ND UNIT ABOVE 3 CAR GARAGE	931 S.F.
APN:	7148-016-029
LOT AREA:	5,104 S.F.
ZONE TYPE:	RLM-2

AREA ANALYSIS

HEIGHT OF NEW STRUCTION	23'7"
EXISTING SIDE YARD SET BACK	4'-6"
EXISTING FRONT YARD SET BACK	20'-0"
F.A.R.	.49
LOT COVERAGE	.39
OPEN SPACE	1,296
BUILDING SEPARATION	28'-0"

NOTE: APPLICABLE CODES

STATE OF CALIFORNIA CODES ARE STATE AMENDED AND REVISED MODEL CODES 1997 SUCH AS '97 UNIFORM BUILDING CODE '97, IS STATE AMENDED '98 CALIFORNIA BUILDING CODE, '98 CBC, ETC.

PROJECT TEAM

OWNER/APPLICANT:
Mr. Reginald McNutty
3347 Brayton Ave.
Signal Hill, Ca. 90755

PLAN PREPARER:
MELVIN WASHINGTON
26575 CALLE LUNA
MORENO VALLEY, CA. 92555

MUNICIPAL AGENCY CONTACTS

COUNTY OF LOS ANGELES PLANNING DEPARTMENT
CONTACT:
TEL:
FAX:

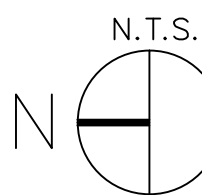
COUNTY OF LOS ANGELES BUILDING DEPARTMENT
CONTACT:
TEL:
FAX:

UTILITY CONTACTS

GAS:
SO. CAL. GAS
TELEPHONE:
PACIFIC BELL
TEL: 1-800-310-2355

SEWER:
CONTACT: OPERATOR
ELECTRIC:
SOUTHERN CALIFORNIA EDISON
TEL:

WATER:
CONTACT: OPERATOR
TEL:



PLANS PREPARED BY :
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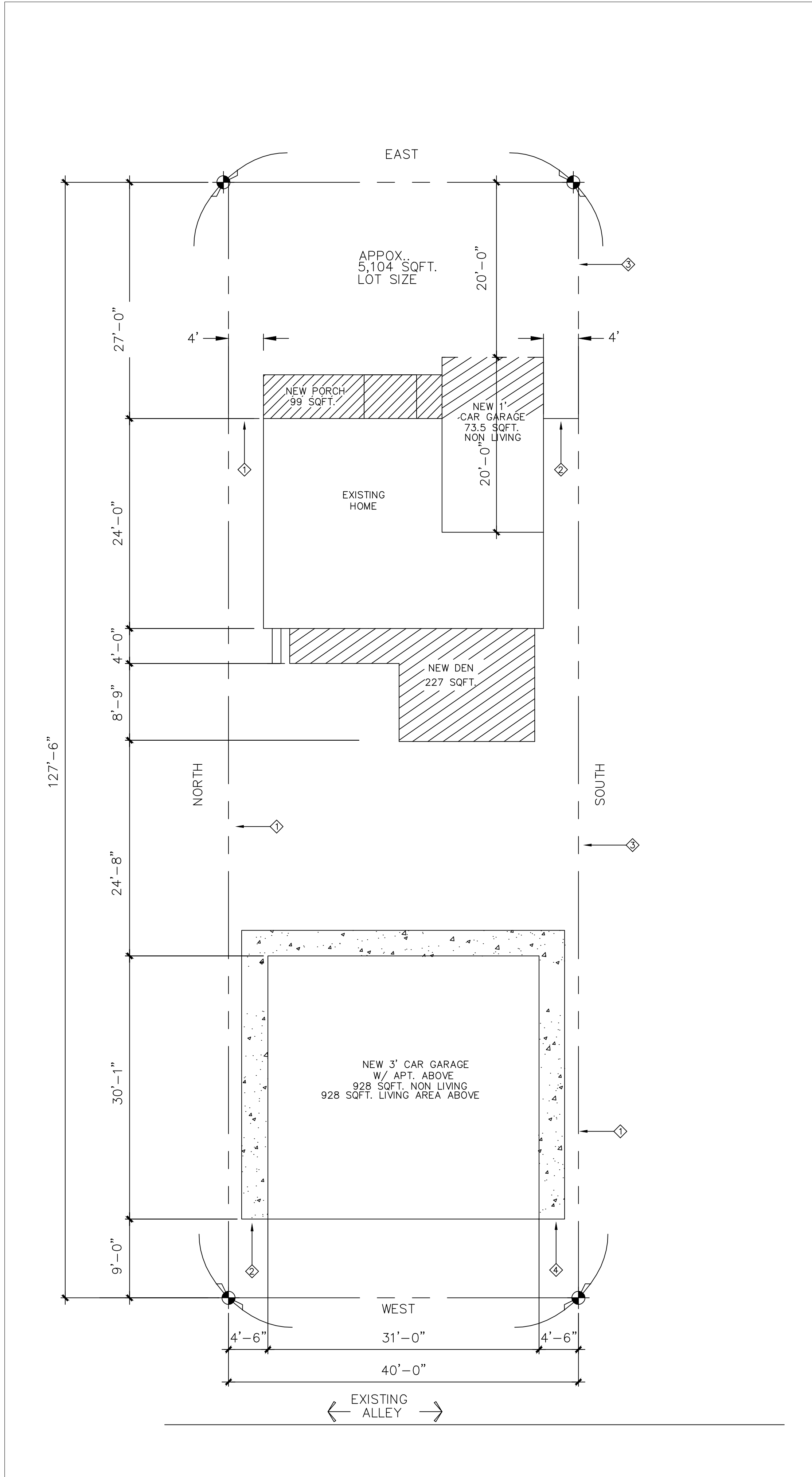
CLIENT NAME

Mr. Reginald Mc Nutty
3347 Brayton Ave.
Signal Hill, Ca. 90755

SHEET NAME

TITLE SHEET

REVISIONS		
NO.	DATE	DESCRIPTION
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JOB #		
BUILDING TYPE		
3 BEDROOM HOME WITH GARAGE		
ISSUE DATE		
SHEET NUMBER		
T1		



PROPOSED NEW HARD SCAPE PLAN

N.T.S.
N
SCALE: 1/8" = 1'-0"

CONTRACTOR TO VERIFY
ALL DIMENSIONS

KEY NOTES

- 1 NEW DOG EAR FENCE 5' HIGH
- 2 NEW DOG EAR GATE 5' HIGH
- 3 EXISTING BLOCK WALL 5' HIGH
- 4 EXISTING DOG EAR GATE 5' HIGH

SHEET NAME

CLIENT NAME

Mr. Reginald Mc Nutly
3347 Brayton Ave.
Signal Hill, Ca. 90755

PROPOSED NEW HARD SCAPE PLAN

REVISIONS		
NO.	DATE	DESCRIPTION
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JOB #

BUILDING TYPE
3 BEDROOM
HOME
WITH GARAGE
ISSUE DATE

SHEET NUMBER

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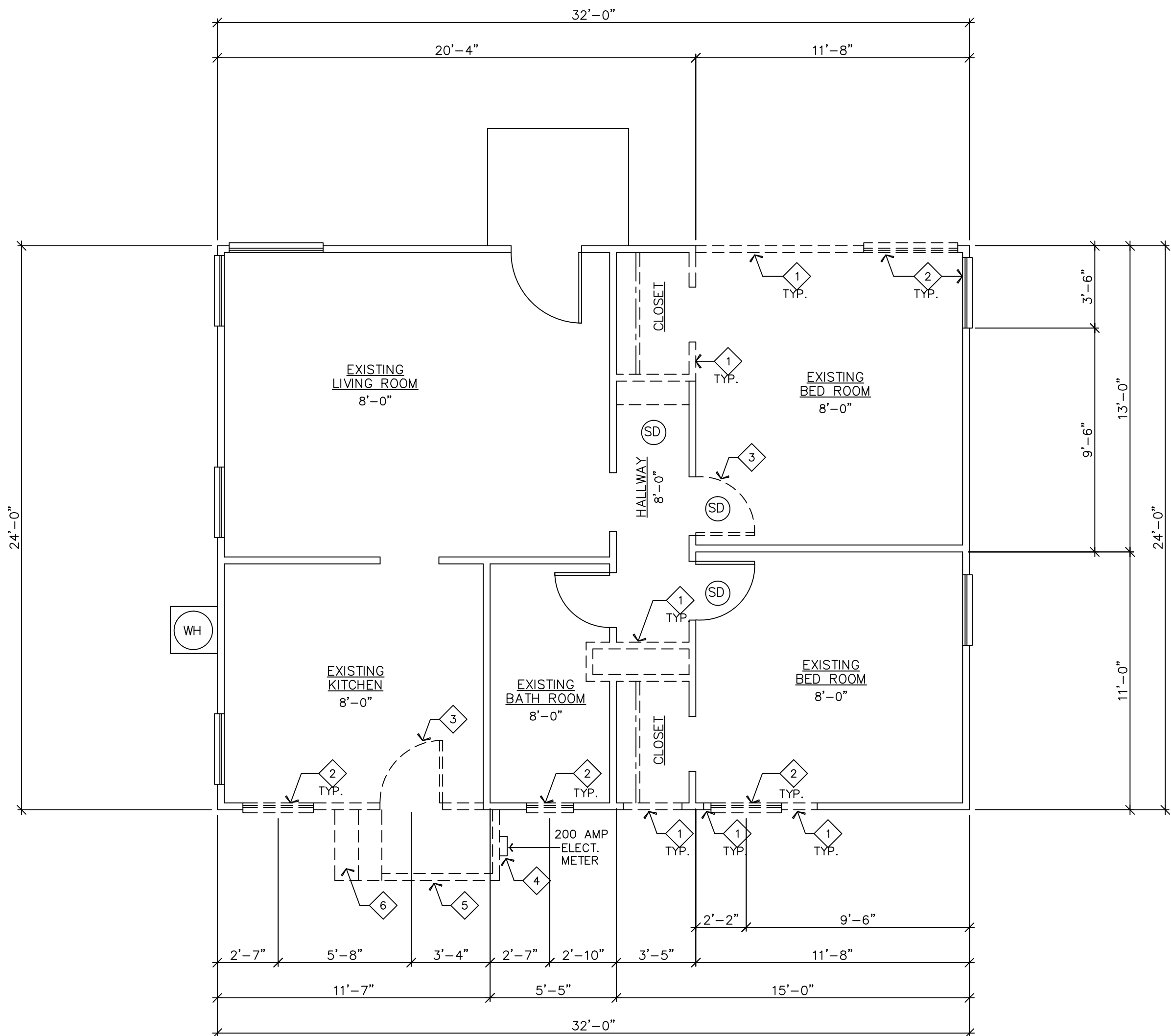
PLANS PREPARED BY :
LUCKY MILLS
18923 YUKON AVE.
TORRANCE, CA 90504
(626) 392-8623

REV. DATE: 09/30/11

DEMOLITION PLAN

N.T.S.
N
SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY
ALL DIMENSIONS



DEMOLITION KEY NOTES

- 1 EXISTING WALLS TO BE REMOVED
- 2 EXISTING WINDOWS TO BE REMOVED
- 3 EXISTING DOORS TO BE REMOVED
- 4 EXISTING ELECTRICAL PANEL TO BE RELOCATED
- 5 EXISTING PONY WALL TO BE REMOVED
- 6 EXISTING CONCRETE STAIRS TO BE REMOVED

DEMOLITION NOTES

- A. PRIOR TO STARTING DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. NO DEMOLITION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITIES.
- C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL NOISE AND DUST CONTROL REQUIREMENTS ARE IN COMPLIANCE WITH LOCAL ORDINANCES.

CLIENT NAME

Mr. Reginald Mc Nutly
3347 Brayton Ave.
Signal Hill, Ca. 90755

SHEET NAME

PROPOSED DEMOLITION PLAN

REVISIONS		
NO.	DATE	DESCRIPTION
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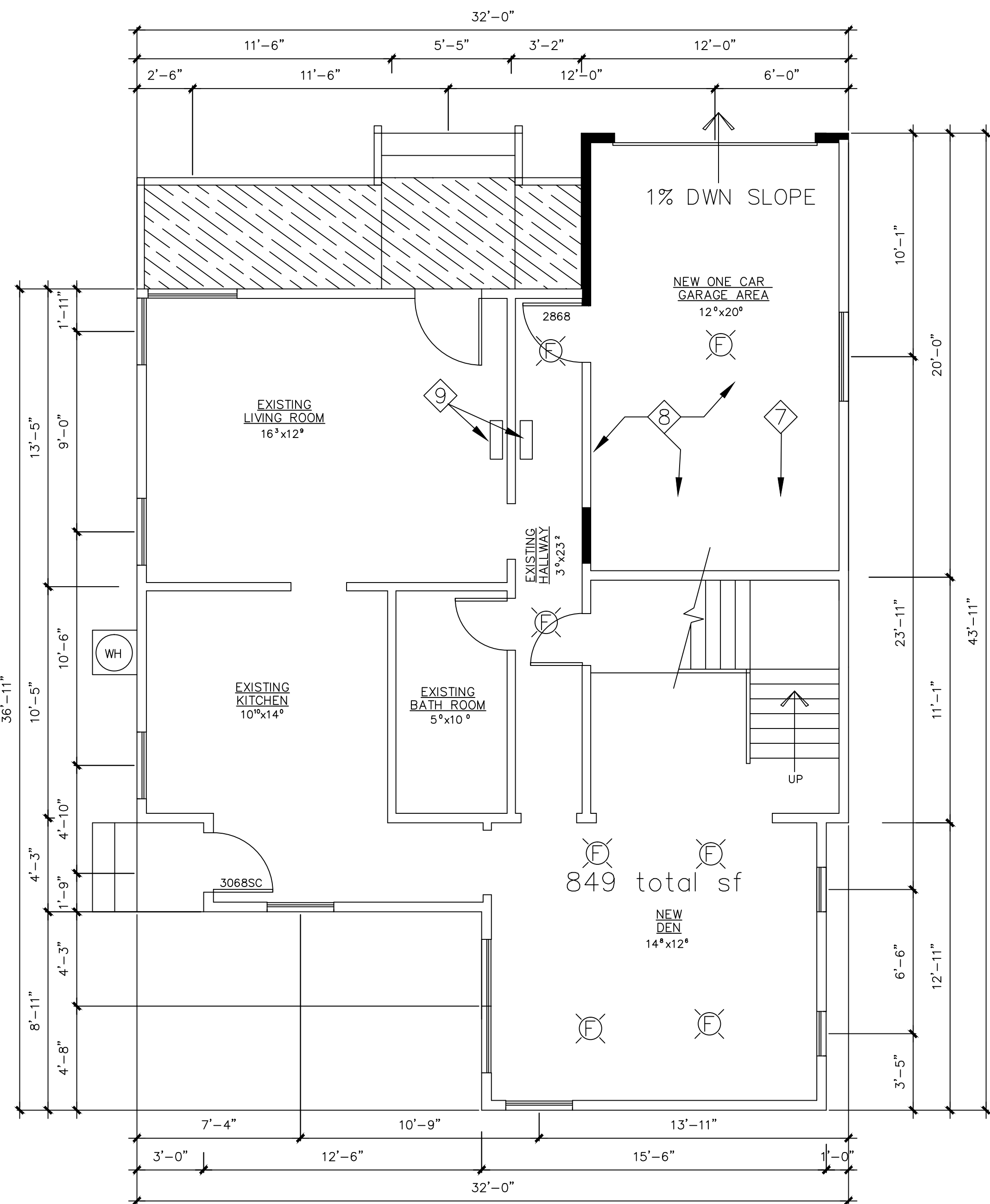
BUILDING TYPE
3 BEDROOM
HOME
WITH GARAGE
ISSUE DATE

SHEET NUMBER

A4

PLANS PREPARED BY :
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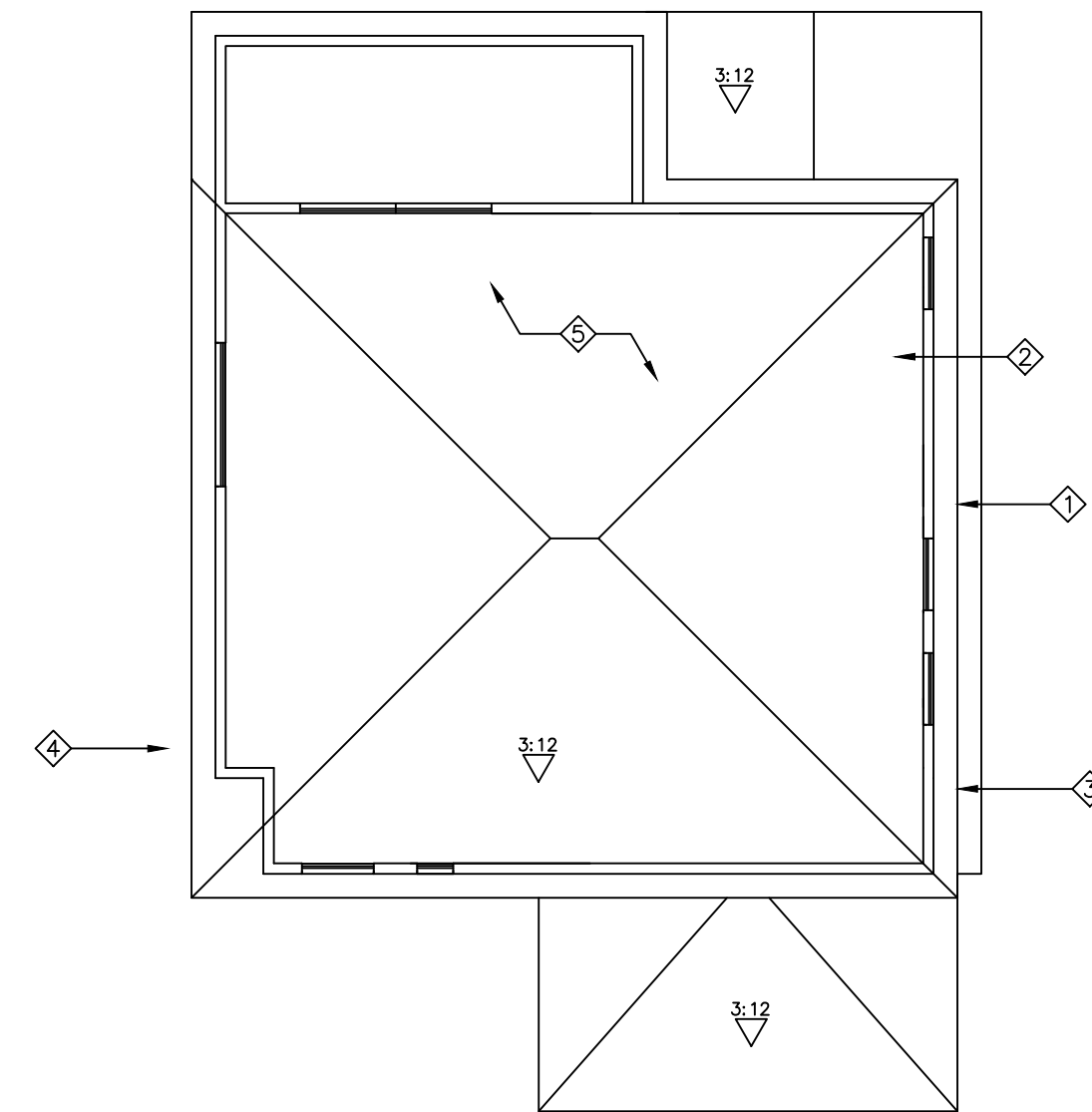
REV. DATE: 09/30/11



FIRST FLOOR

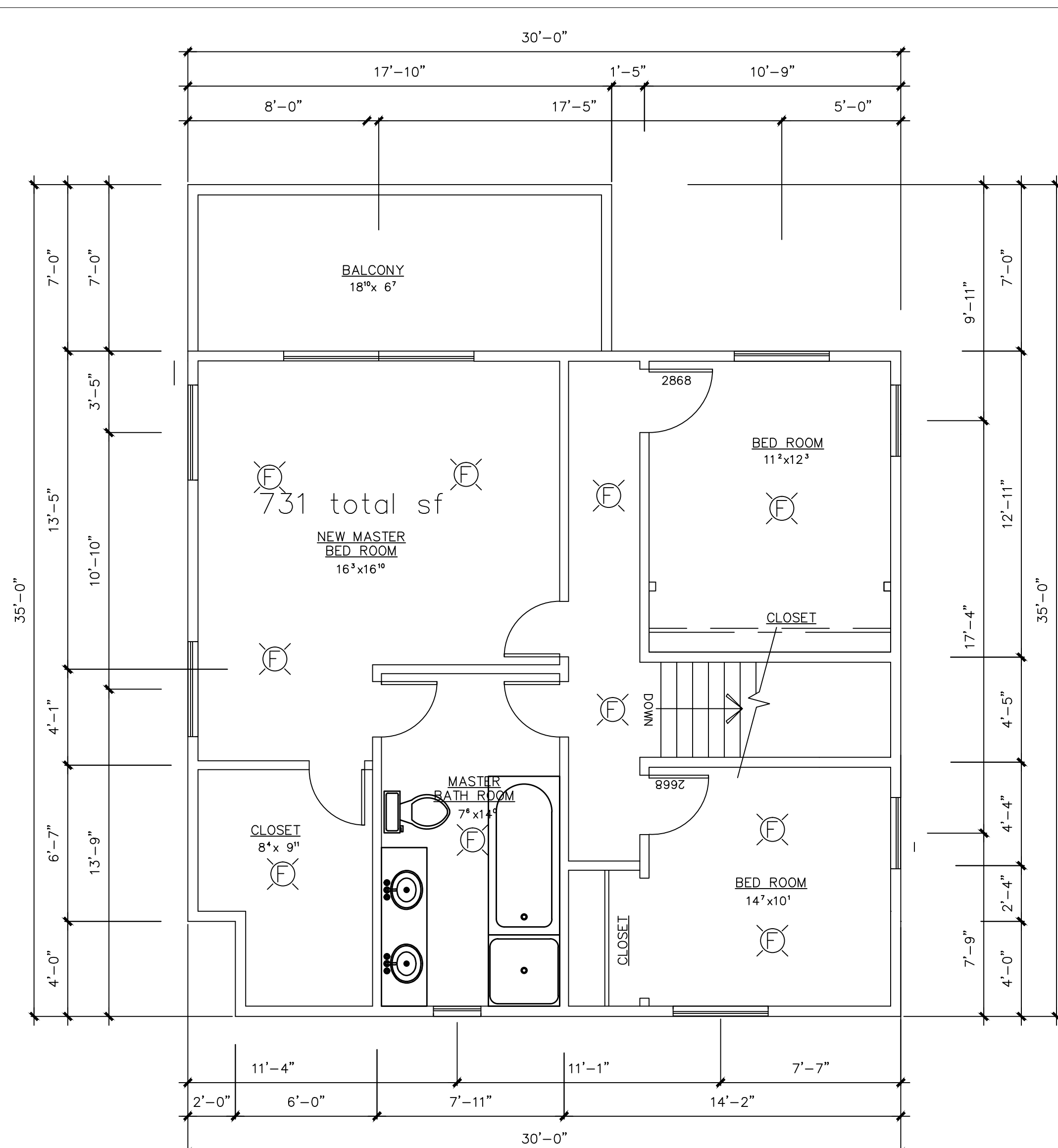
N.T.S.
N
SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY
ALL DIMENSIONS



PROPOSED ROOF PLAN

N
SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR

N.T.S.
N
SCALE: 1/4" = 1'-0"

FLOORPLAN KEY NOTES

- 7 PROPOSED NEW 18" DEEP STORAGE CABINET
- 8 1/2" GYPBOARD AT GARAGE SIDE WALLS AND CEILING
- 9 1-3/8" THICK SOLID CORE, SELF CLOSING, SELF LATCHING.
- 8 EXISTING ELEC. SUBPANEL RELOCATE OUTSIDE NORTH WALL OF NEW MASTER BEDROOM - READILY ACCESS.
- 9 EXISTING FLOOR FURNACE (DUAL) 50k btu
- SD ALL SMOKE DETECTYORS HARDWIRED W/BATTERY BACKUP, INTERCONNECTED. MAY BE BATTERY POWERED AT EXISTING AREAS
- CM CARBON MONOXIDE ALARM SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH BATTERY BACKUP AND INTER-CONNECTED.

ELECTRICAL NOTES

- ALL 120v BRANCH CIRCUITS SUPPLYING OUTLETS IN CLOSETS, HALLWAYS, BEDROOMS AND OTHER HABITABLE ROOMS (EXCEPT KITCHEN) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
- ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES.

RECESSED EXHAUST FAN/FLOURESCENT LIGHT COMBINATION
DEMO WALLS
EXISTING WALLS
NEW WALLS

- ALL BRANCH CIRCUITS THAT SUPPLY 125-volts, SINGLE PHASE 15 OR 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS AND OTHER HABITABLE ROOM SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(S). (PER 1999 NEC 210-12)
- MECHANICAL, ELECTRICAL AND PLUMBING SYSTEM ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- BATHROOM BRANCH CIRCUITS REQUIRED. THE BATHROOM RECEPTABLES(S) REQUIRED IN SECTION 210-52(d) MUST BE SUPPLIED BY A 20 AMP CIRCUIT THAT DOES NOT SUPPLY ANY OTHER LOADS.
- REQUIRED FLUORESCENT LIGHTS SHALL NOT BE SCREW IN TYPE,
- INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BU U.L. OR OTHER TESTING LAB RECOGNIZED BY I.C.B.O. (SECTION 150(k)(4)).
- INCANDESCENT AND FLUORESCENT FIXTURES ARE NOT TO BE SWITCHED TOGETHER
- FIXTURES SHALL NOT CONTAIN MEDIUM-BASE INCANDESCENT LAMP SOCKETS.
- PROVIDE AFCI (ARC-FAULT CIRCUIT INTERRUPTER) RECEPTABLES PER NEC SECTION 210-12 IN ALL DWELLING UNIT BEDROOMS AND OTHER HABITABLE ROOMS.
- LIGHT FIXTURES IN CLOTHES CLOSETS TO COMPLY WITH N.E.C. SECTION 410-8.
- ALL RECEPTABLES OUTLETS SHALL BE TAMPER-RESISTANT RECEPTABLES PEER CEC SECTION 406.11
- F.A.R. - 5,104 * .5 = 2,552 SQ.FT.

DOWN STAIRS = 849 SQ.FT.
UP STAIRS = 731 SQ.FT.
BACK HOUSE = 931 SQ.FT.
TOTAL = 2,511 SQ.FT.

ROOF KEY NOTES

- 1 LINE OF ROOF
- 2 LINE OF WALL BELOW
- 3 GUTTERS (LOCATION TO BE VERIFIED BY INSTALLER)
- 4 2X8 FASCIA
- 5 ROOF COVERING (COMP. SHINGLE CLASS "B" ROOFING)
- 6 24" HALF ROUND DORMER VENT

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CLIENT NAME

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3347 Brayton Ave.
Signal Hill, Ca. 90755

SHEET NAME

PROPOSED NEW FLOOR PLAN W/ NEW ROOF PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

JOB #

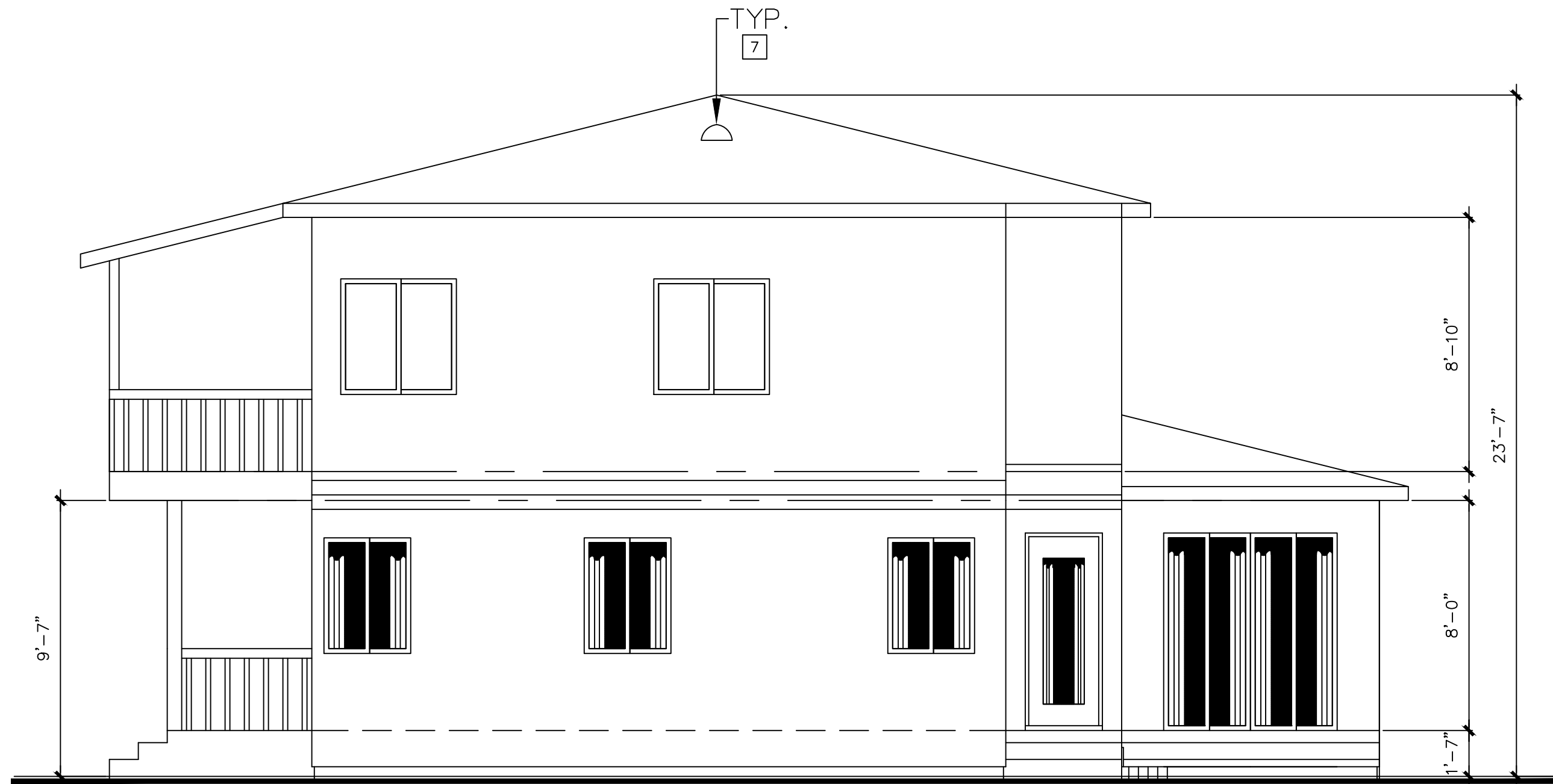
BUILDING TYPE
3 BEDROOM
HOME
WITH GARAGE

ISSUE DATE

SHEET NUMBER

A5

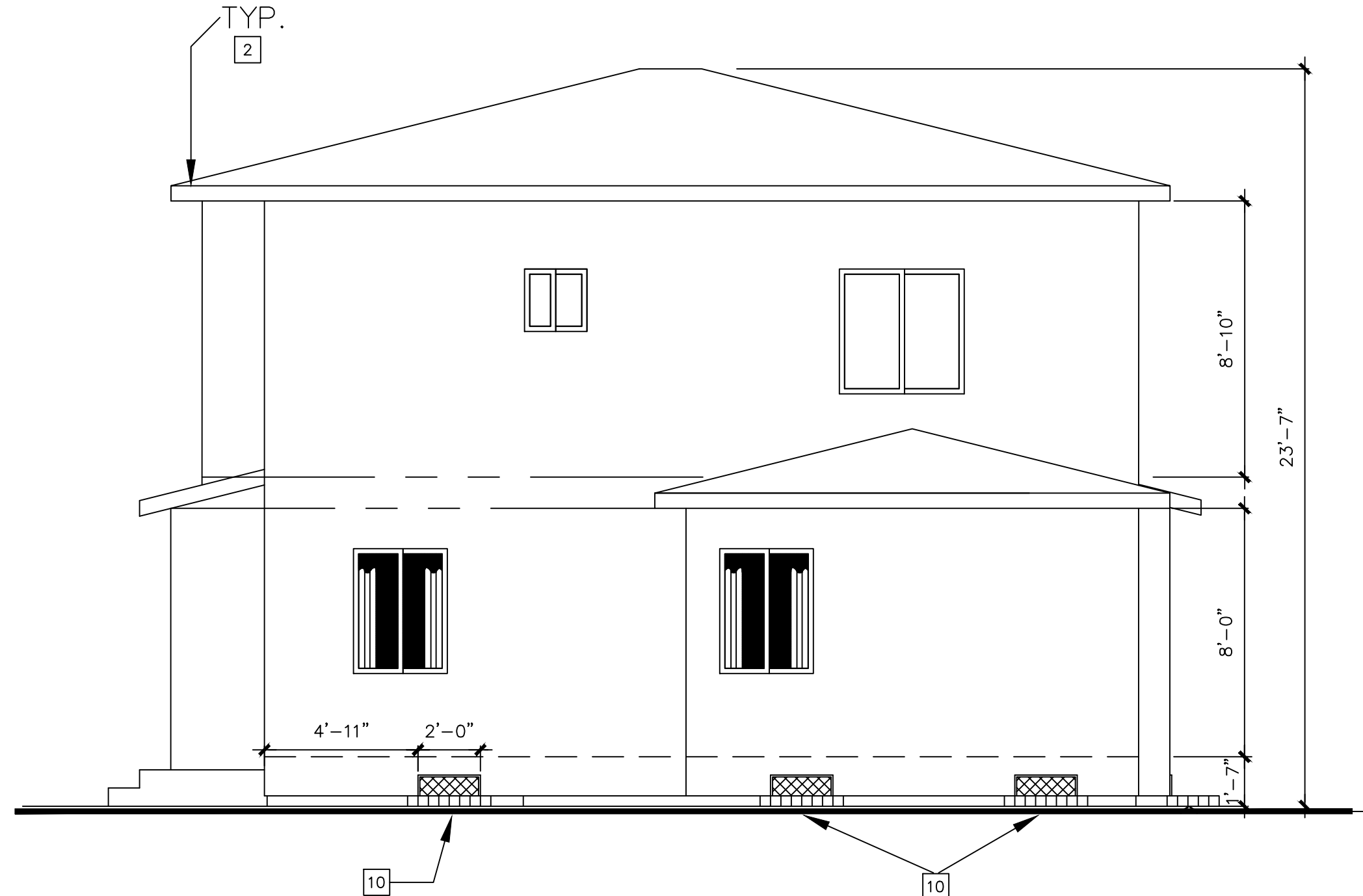
REV. DATE: 09/30/11



NORTH ELEVATION



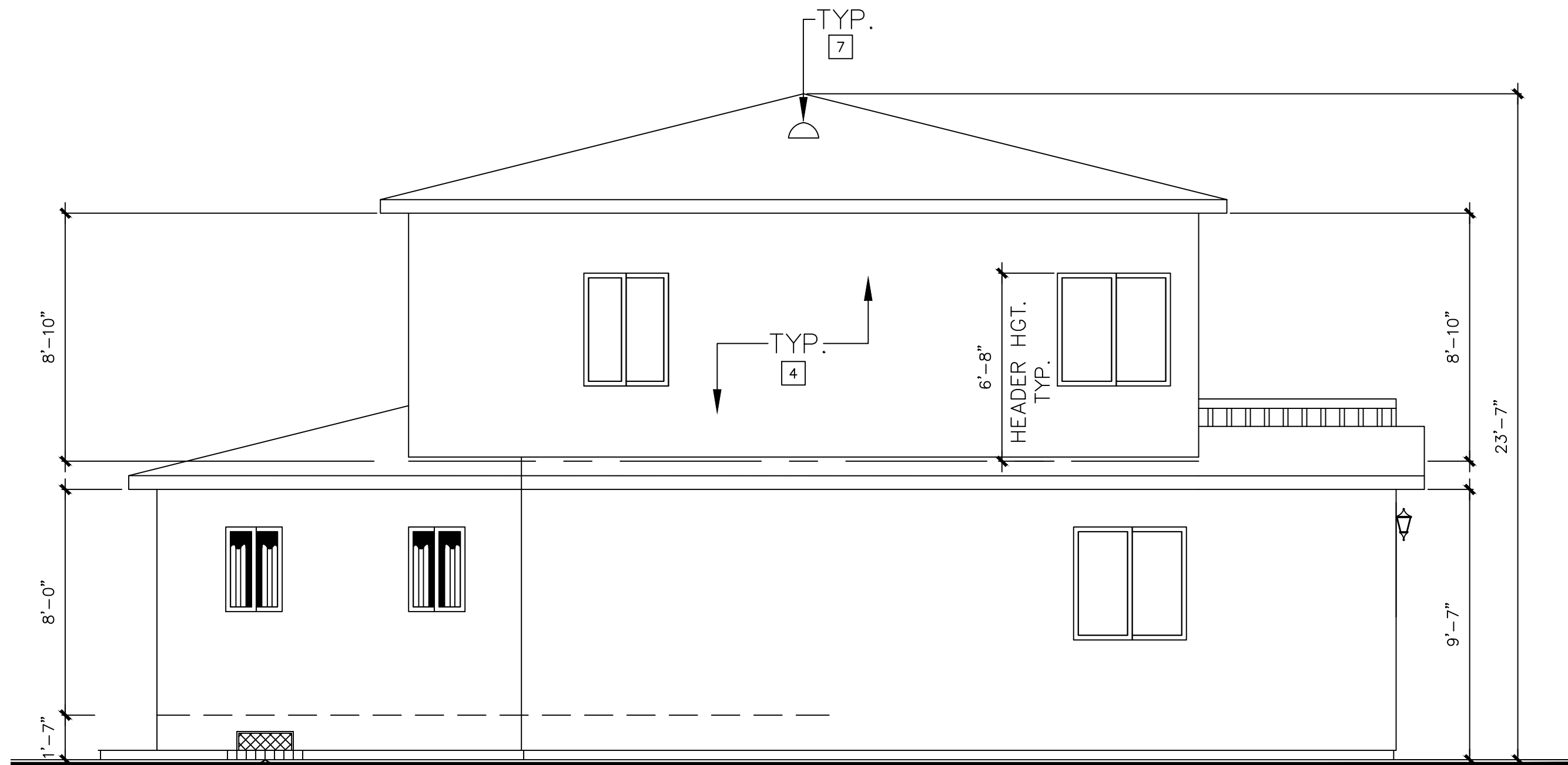
SCALE: 1/4" = 1'-0"



WEST ELEVATION



SCALE: 1/4" = 1'-0"



SOUTH ELEVATION



SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY
ALL DIMENSIONS



EAST ELEVATION



SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 ROOFING MATERIAL
- 2 2X FASCIA/BARGEBOARD
- 3 GUTTER (LOCATION TO BE VERIFIED BY INSTALLER)
- 4 EXTERIOR PLASTER
 - A. WEEPSCREED FOR EXTERIOR PLASTER SHALL BE PLACED 4" MIN. ABOVE THE EARTH OR 2" ABOVE PAVED AREAS.
 - B. USE 2 LAYERS OF GRADE D PAPER BARRIER FOR STUCCO APPLIED OVER WOOD BASE SHEATHING.
- 5 14X18 ATTIC VENT
- 6 PROPOSED NEW GARAGE DOORS (BY OWNER)
 - A. GARAGE DOOR SPRING SHALL BE FABRICATD FROM EITHER HARD-DRAWN SPRING WIRE (per ASTM A227-21) OR OIL TEMPERED WIRE (per ASTM A229-71)
 - B. MINIMUM DESIGN STANDARD SHALL 9,000 CYCLES.
 - C. PHYSICAL CYCLE TESTING SHALL BE PERFORMED AND CERTIFIED BY AN APPROVED TESTING AGENCY
 - D. EACH SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEROF IN THE EVENT IT BREAKS. CONTAINMENT DEVICE SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY.
 - E. GARAGE DOORS SHALL HAVE AUTOMATIC OPENERS.
- 7 24" HALF ROUND DORMER VENT
- 8 PROPOSED NEW UNIT ADDRESS
- 9 COMBUSTIBLE ROOF OVERHANG LOCATED BETWEEN 2 AND 5 FEET FROM PROPERTY LINE SHALL BE 1 HOUR RATED ON UNDERSIDE. SEE DETAIL ON THIS SHEET
- 10 UNDER FLOOR AIR VENTS 6"x18"

ROOF KEY NOTES

- 1 LINE OF ROOF
- 2 LINE OF WALL BELOW
- 3 GUTTERS (LOCATION TO BE VERIFIED BY INSTALLER)
- 4 2X8 FASCIA
- 5 ROOF COVERING (COMP. SHINGLE CLASS "B" ROOFING
- 6 24" HALF ROUND DORMER VENT

ATTIC VENT CALCULATION

ROOF PLAN NOTES

INDICATES ROOF SLOPE AND DIRECTION, U.N.O.
3:12

ROOF MATERIAL: COMP. SHINGLES CLASS "B"
(I.C.B.O.#ER-2093)
12" (INCHES) TYPICAL ROOF OVERHANG AT RAKE, UNLESS NOTED OTHERWISE
12" (INCHES) TYPICAL ROOF OVERHANG AT EAVE, UNLESS NOTED OTHERWISE

ATTIC VENT CALCULATION

PROVIDE 1 SQ. IN. OF VENTILATION PER 300 SQ. IN. OF ATTIC SPACE. PROVIDE THAT 50% OF THE REQ. VENTILATION AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC, (HIGH VENTING) AT 3'-0" ABOVE EAVE VENT WITH THE BALANCE BEING PROVIDED BE EAVE VENTS. (LOW VENTING) PER U.B.C. SECTION 1505.3.

* CALCULATION BY 1/150. HIGH/LOW VENTING NOT REQUIRED.
AREA: 1
VENTILATION REQUIRED:
ATTIC AREA = 900 SQ. FT. / 300 = 300 SQ. FT.
X 144 = 432 SQ. IN.
/ 50% = 216 SQ. IN.

VENTILATION REQUIRED:
HIGH
(2) LOW PROFILE DORMER VENTS 120 SQ.IN. EA = 240 SQ. IN.
LOW
(2) 14"x18" ATTIC 126 SQ.IN. EA = 252 SQ. IN.
LOUVERS VENTS TOTAL = 492 SQ. IN.

12"x9" OPENING FOR DORMER LOW PROFILE VENT(S)
- FIELD VERIFY LOCATIONS

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CLIENT NAME

Mr. Reginald Mc Nutly
3347 Brayton Ave.
Signal Hill, Ca. 90755

SHEET NAME

PROPOSED NORTH, SOUTH, EAST, WEST
EXTERIOR ELEVATION

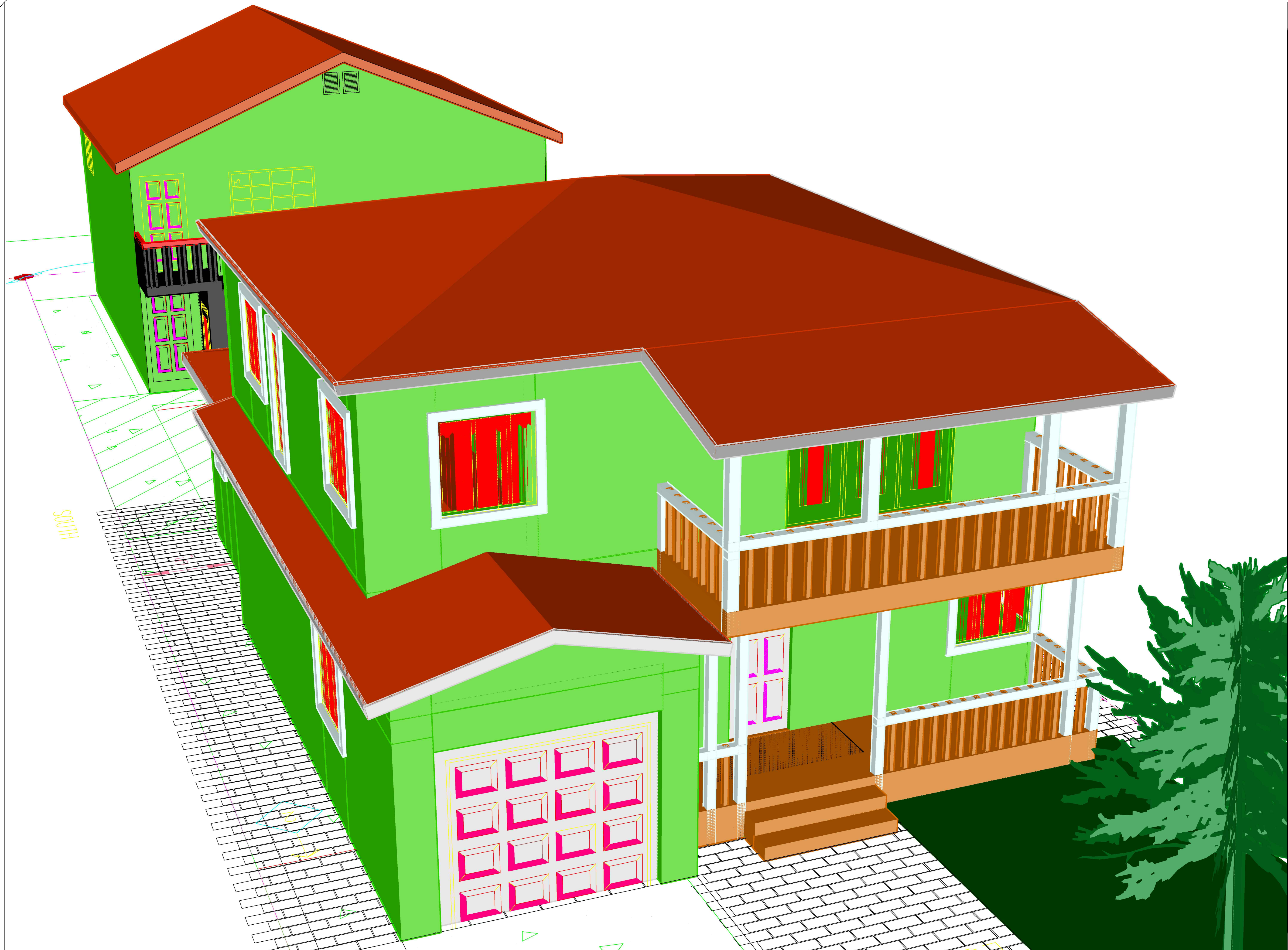
REVISIONS		
NO.	DATE	DESCRIPTION
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8		
9		
10		
JOB #		

BUILDING TYPE
3 BEDROOM
HOME
WITH GARAGE

ISSUE DATE

SHEET NUMBER

A5.1



General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

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Project

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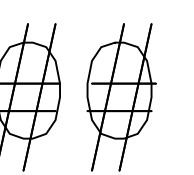
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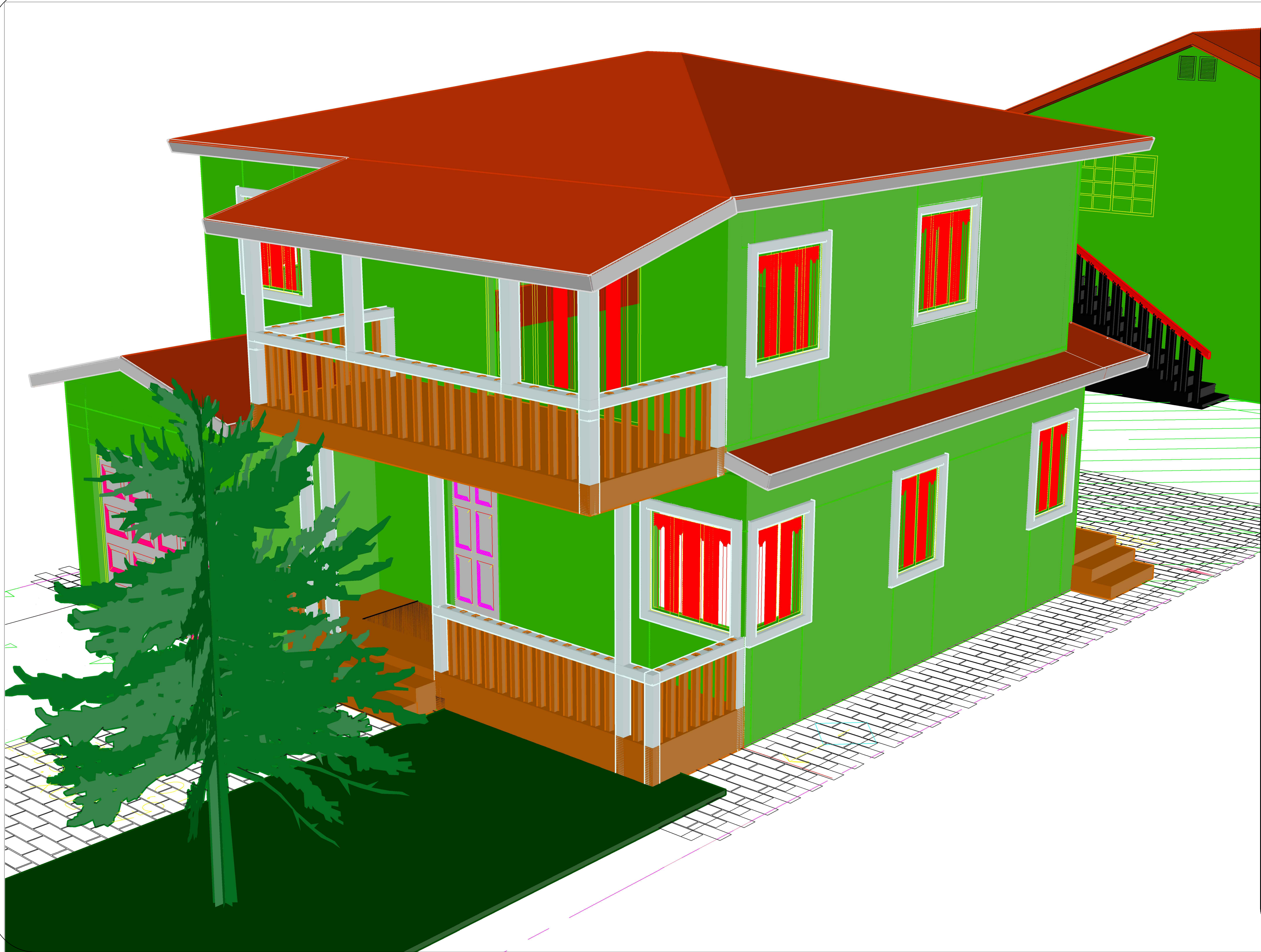
2/9/2015

Scale

As Noted

Sheet





General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

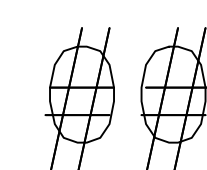
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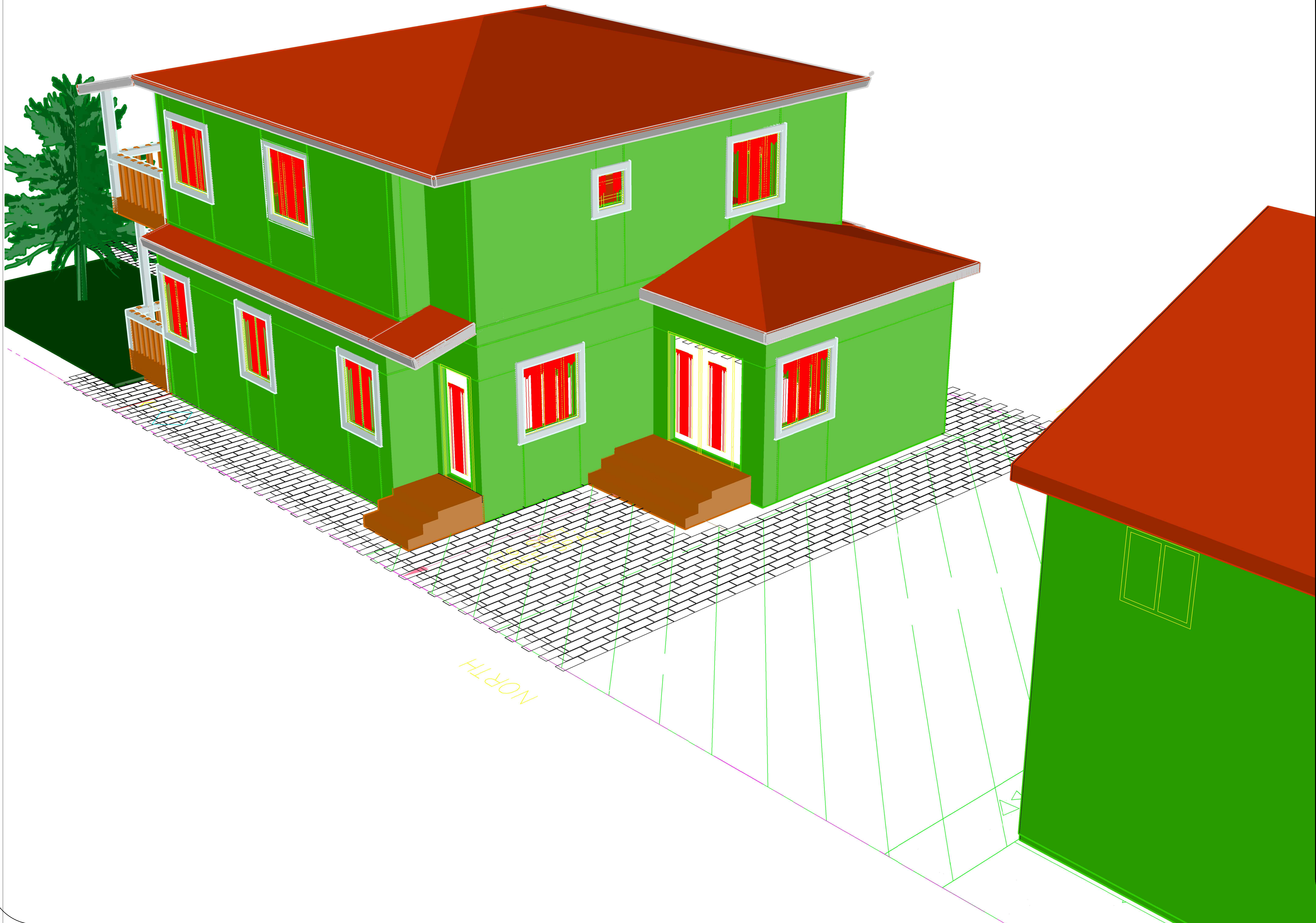
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Date 2/9/2015

Scale As Noted

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General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

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Project

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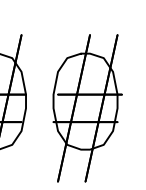
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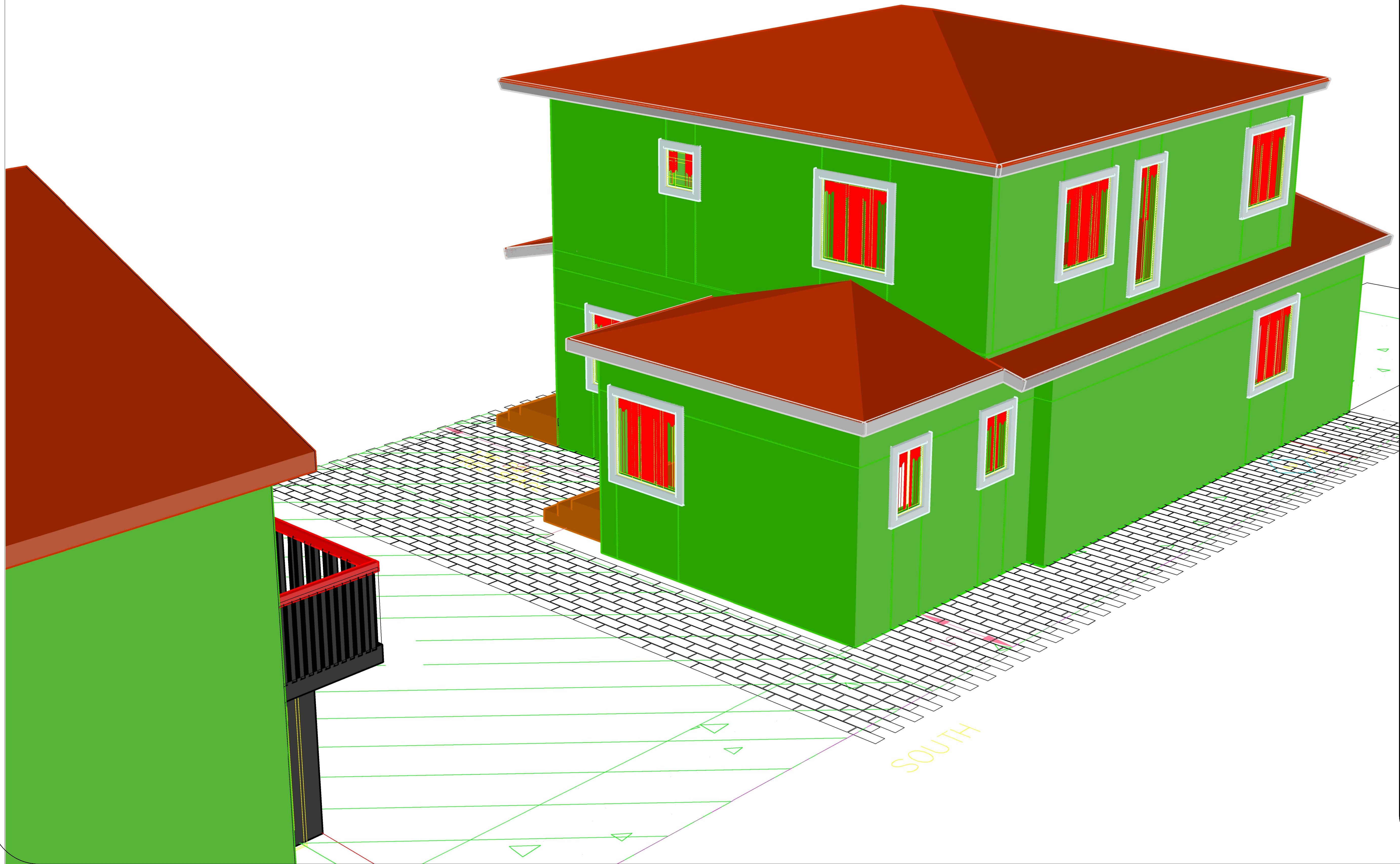
2/9/2015

Scale

As Noted

Sheet





General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

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Project

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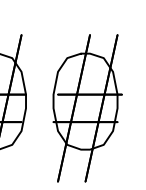
Date

2/9/2015

Scale

As Noted

Sheet





March

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7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31					

2



CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: SELENA ALANIS
ASSISTANT PLANNER**

**SUBJECT: DIRECTOR'S REPORT - GENERAL PLAN ANNUAL PROGRESS
REPORT**

Summary:

Government Code Section 65400 mandates that all cities submit to their legislative bodies an annual report on the status of the General Plan and progress in its implementation. In addition, the City is required to file the annual report with the Governor's Office of Planning and Research (OPR) and the State Department of Housing and Community Development (HCD).

Recommendation:

Recommend City Council authorization to submit the Annual Progress Report to the Governor's Office of Planning and Research and the State Department of Housing and Community Development.

Background:

California state law requires that each city adopt a General Plan. The General Plan must include:

- A comprehensive long-term plan to guide the city's future;
- Cover the city's entire planning area;
- Address a broad range of issues associated with the city's development; and
- Address seven mandated categories including Land Use, Circulation, Housing, Conservation, Open Space, Safety and Noise.

The City's General Plan contains six separate elements as the conservation and open space categories are combined in one Environmental Resources Element. The Environmental Resources Element also includes the Parks and Recreation Master Plan. The last comprehensive revision of the Signal Hill General Plan occurred in 1986 but various elements have been updated overtime:

	General Plan Elements	Adoption/Updates
1.	Land Use	1986, 1989, 2001
2.	Housing	1986, 1989, 2002, 2008, 2014
3.	Circulation	1986, 2010
4.	Noise	1986, 2010
5.	Environmental Resources	1986, 1989 1989 - Parks Master Plan Update
6.	Safety	1986, 2010 (Draft)

In 2014, upon review of the 2013 General Plan Annual Progress Report, the Governor's OPR had determined that Signal Hill's General Plan had not been updated within the last eight years or longer (Attachment A). At least five of the seven elements must be updated to be considered a comprehensive update. OPR noted that General Plans that have not been updated within the eight year time frame are not necessarily considered legally inadequate, however, local governments have an implied duty to keep General Plans current.

Analysis:

The annual review of the General Plan provides an opportunity to reflect upon the progress made during the past year. The attached progress report is for calendar year 2014 (Attachment B). It provides an analysis of achievement of goals and implementation of major policies for each of the General Plan Elements.

Land Use Element – Update Adopted: June 12, 2001

The Land Use Element overviews Signal Hill's vision of its future and sets forth the means to protect the land use philosophy of the community, character of existing neighborhoods and the quality of the physical environment. The Element contains criteria for the various land use types and the appropriate locations for each type of land use. Within each land use category are guidelines for the intensity of development, urban design concepts and standards for measuring the appropriateness of development. Notable achievements in 2014 include:

Projects Completed:

- Aragon development – final phase of 81-unit townhome-style condominium project on Orizaba Avenue, south of 19th Street.

- Costco Gas Station at 2200 E. Willow Street.
- Final building at the Signal Hill Gateway Center featuring Chipotle, Sprint, Starbucks and ATM kiosk for Bank of America.

Projects Under Construction:

- BMW automobile dealership at 1660 E. Spring Street.
- Office building at 2665 Walnut Avenue.
- Religious facility at 995 E. 27th Street.
- Medical office building at 845 E. Willow Street.
- Single-family dwelling at 2799 E. 21st Street.

Projects Approved:

- Crescent Square development of 25 detached single-family dwellings.
- A duplex at 924 E. Vernon Street.
- A second unit at 3360 Lemon Avenue.
- 30 month extension of the Conditional Use Permit 97-03 for Signal Hill Petroleum's Drill 7 consolidated sites.

Ordinances:

- Adopted a Zoning Ordinance Amendment to comply with State mandates regarding special needs housing: licensed group homes, single-room occupancy, supportive housing and transitional housing.

Housing Element – Update Adopted: February 4, 2014

The Housing Element identifies constraints and opportunities in creating affordable housing in the City and serves as a comprehensive strategy of goals, policies and programs to preserve, upgrade, and create housing in general. It is the only Element that is reviewed separately by the HCD. HCD also requires that Annual Housing Element Progress Reports be submitted in a prescribed format to track the actual production of housing. Achievements in 2014 include:

- HCD certified the 2013-2021 Housing Element and found it to be in full compliance with State housing element law (Attachment C). Signal Hill's Regional Housing Needs Assessment allocation (RHNA) was 169 units – 97 market rate units and 72 affordable units. The certified Element included a list of adequate sites demonstrating that zoning is in place to accommodate the RHNA allocation.
- Housing Production: the City is not required to construct the 169 units, however, it is notable that 70% of the total allocation has been constructed to date.

- Market Rate – In 2014, 18 building permits were issued. 68 out of the 97 allocated units have been produced for the planning period of 2013-2021. 70% of the market rate allocation has been constructed to date.
- Affordable Units Production – In 2014, the City's Housing Authority selected Meta Housing as the developer for a 72 unit affordable housing project at 1500 E. Hill Street. 0 out of the 72 allocated units have been produced for the planning period of 2013-2021. If funding is secured for construction, 100% of the affordable housing allocation will be constructed.

Circulation Element – Update Adopted: June 15, 2010

The Circulation Element establishes guidelines and policy direction for the development and maintenance of a comprehensive transportation system in the City. In addition, it works to achieve long-term development, maintenance, and enhancement of the City's circulation system. Key achievements for 2014 include:

- Initial construction of the Cherry Avenue widening project.

Noise Element – Update Adopted: June 15, 2010

The Noise Element is intended to limit the community's exposure to excessive noise levels and ensure local regulations are consistent with state and federal regulations. The Element identifies noise sources and the goal is to effectively reduce noise. In 2014 the City continued:

- 15 Construction Time Limit notices were sent to property owners adjacent to construction sites. Notices provide disclosure of the potential for construction related noise, the permitted hours for construction and City contact information.
- Approximately 40 well work notifications were distributed. In an effort to provide the community with information regarding well work, Signal Hill Petroleum provides a courtesy notice to nearby residents and the City about the type of work that will be done, the duration of the work, what to expect with the work and contact information for Signal Hill Petroleum.

Environmental Resources – Adopted: March 18, 1986

Parks and Recreation Master Plan Updated December 1989

Community Needs Assessment Updated December 2008

The Environmental Resources Element in combined the open space and conservation categories into one element. The purpose of the Element is to guide the management of natural resources and open space.

In 1989, the General Plan was amended to include the Parks and Recreation Master Plan to provide a blueprint for the development of the City's parks and trails system. In

2008, the Parks and Recreation Commission and Community Services Department completed a Recreation Needs Assessment which will provide the basis for updating the Environmental Resources Element.

To update the Element the City must conduct a Community Needs Assessment and update the Parks and new Recreation Master Plan based on the results of the needs assessment. The City plans to conduct the community needs assessment in the fiscal year of 2015-2016 and will use development park impact fees to pay for the assessment and master plan. The Environmental Resources Element also discusses to the City's oilfield so the Element will also not be scheduled for review until the Oil Code update is completed. Key achievements for Environmental Resources and Parks in 2014 include:

- In 2014, the Sustainable City Committee continued to work on local urban environmental goals.
- The City held workshops and adopted a Parkway Design Guide for alternative landscaping.
- Construction of the community garden at 1917 E. 21st Street was completed and opened to the public.

Safety Element - Adopted: March 18, 1986 (Draft Update prepared in 2010)

The Safety Element accounts for general safety hazards and identifies policies and programs to mitigate hazards to the public. In 2010, RGP Planning and Development Services prepared a draft Update of the 1986 Safety Element. Information about the Oil Code and oil field operations is included in the Safety Element. The City is in the process of preparing a comprehensive update of the Oil Code. In order to have the most up to date information in the General Plan, the Safety Element will not be scheduled for Planning Commission and City Council review until the Oil Code update is completed. Achievements in 2014 include:

- Training was conducted at the Emergency Operations Center (EOC) at the police station and a part-time EOC Coordinator was hired.
- The City continued to work on a comprehensive update of the Oil Code in response to changes made by the Division of Gas & Geothermal Resources and developed draft equivalency standards for development of properties with oil wells in response to changes at State Department of Oil, Gas and Geothermal Resources.

Conclusion

The City plans on preparing updates for all outdated elements of the General Plan. A goal to update the Land Use, Safety and Environmental Resources Elements has been recommended for inclusion in the City's 2015-2020 Strategic Plan.

Approved:

Scott Charney



EDMUND G. BROWN JR.
GOVERNOR

STATE OF CALIFORNIA
GOVERNOR'S OFFICE *of* PLANNING AND RESEARCH



KEN ALEX
DIRECTOR

July 7, 2014

Mr. Scott Charney, Community Development Director
City of Signal Hill
Community Development Department
2175 Cherry Avenue
Signal Hill, CA 90755

Dear Mr. Charney:

Pursuant to Government Code section 65040.5 (a), the Governor's Office of Planning and Research (OPR) is required to notify cities and counties with general plans that have not been revised within the last eight years. Our records indicate that the City of Signal Hill's General Plan has not been revised in the past eight years or longer.

For purposes of this notification, a revision is considered to be a comprehensive update of at least five of the seven mandatory general plan elements, which have been adopted by the local legislative body. According to our records, the mandatory elements of the general plan for the City of Signal Hill were last updated during the years noted.

Element	Year
Land Use	2001
Circulation	2009
Housing	2008
Conservation	1986
Open Space	1986
Safety	1986
Noise	2009

If this information is incorrect, please contact the OPR State Clearinghouse via email state.clearinghouse@opr.ca.gov or by phone (916) 445-0613 so that we may update our records.

As part of our process to identify jurisdictions with general plans that have not been revised in eight years, OPR surveyed local government planning agencies in the 2013 Annual Planning Survey for current information regarding their general plans. In addition, OPR reviewed General Plan Annual Progress Reports, public notices from jurisdictions, environmental document filings, and jurisdictions' websites.

General plans that have not been revised within the past eight years are not necessarily legally inadequate. However, the California Supreme Court has stated that local governments have an implied duty to keep their general plans current (*DeVita v. County of Napa*, 9 Cal. 4th 763 (1995)). Additionally, local governments must review and revise their general plans as often as they deem necessary or appropriate (Government Code section 65103(a)). The general plan statutes do not provide a mandatory minimum timeframe for revision of elements, except for housing elements, which must be revised based on the schedule established in Government Code section 65588. In addition, Government Code sections 65302 and 65302.1 require certain information be included in general plan elements at the time a jurisdiction next revises its housing element.

OPR is also required to notify the Attorney General's Office of cities and counties with general plans that have not been revised in ten years (Government Code section 65040.5(b)). If our records indicate that your general plan has not been revised in ten years, we will be notifying the Attorney General in August 2014.

If you would like to make corrections to our records, please respond by August 8, 2014. This will allow us to update our records prior to notifying the Attorney General of general plans that have not been revised in ten years. If you have any questions or require additional information, please contact the State Clearinghouse at state.clearinghouse@opr.ca.gov or by phone at (916) 445-0613.

Sincerely,

A handwritten signature in black ink that reads "Ken Alex". The signature is written in a cursive, flowing style.

Ken Alex
Director

Attachment B

Progress Report 2014
General Plan Policies, Goals and Implementation Measures

Land Use Element

Status Overview

The 2001 Land Use Element contains 4 goals and 63 implementation programs. The significant achievements for the year 2014 are described by neighborhood:

North End Neighborhood

- Approved plans for a new second unit over a 4-car garage at 3360 Lemon Avenue.
- Construction completed for a new detached second unit at 3342 Cerritos Avenue.
- Beautification Award granted to the single-family dwelling at 3233 Lemon Avenue for aesthetic and landscape upgrades.

Central Neighborhood

- Approved plans and began construction for a new Long Beach BMW automobile dealership at 1660 E. Spring Street.
- Construction underway at new office building at 2665 Walnut Avenue.
- Beautification Award granted to Signal Hill Petroleum's drill site #3 for landscaping improvements completed at the northeast corner of E. Willow Street and Walnut Avenue.

West Side Neighborhood

- Approved plans for a new duplex at 924 E. Vernon Street and demolition of the existing single-family dwelling.
- Adopted the 2013-2021 Housing Element Update and received state certification.

Civic Center Neighborhood

- The community garden at 1917 E. 21st Street was completed and opened for public use.
- Approved plans for Crescent Square 25 single-family dwellings at the northeast corner of Walnut and Crescent Avenue.
- Demolition of the old police department at 1800 E. Hill Street was completed.
- Sustainability Award granted to "Seeds of Change" environmental club at Jessie E. Nelson Academy.

Hilltop Neighborhood

- Completed construction and Costco gas station opened at 2200 E. Willow Street.
- Approved plans and construction began for a single-family dwelling at 2799 E. 21st Street.
- Beautification Award granted to Willow Ridge Condominium Homeowner's Organization in recognition of exterior renovations and landscape improvements.
- Beautification Award granted to homeowner at 2299 Molino for recognition of installation of a water feature and ornamental landscaping.
- Sustainability Award granted to Promontory Crest Homeowner's Association for installation of water efficient irrigation systems and energy efficient lighting.

South East Neighborhood

- Aragon development – construction completed at the 81-unit townhome-style condominium project on Orizaba Avenue, south of 19th Street.
- Hosted a community workshop for Parkway Landscape Guidelines and adopted the guidelines.

Atlantic / Spring Neighborhood

- Construction underway at new medical office building at 845 E. Willow Street.
- Construction underway for the religious facility at 995 E. 27th Street.
- Construction completed for final building at Signal Hill Gateway Center featuring Chipotle, Sprint and Starbucks as well as an ATM kiosk for Bank of America.
- Developed draft equivalency standards for development of properties with oil wells in response to changes at State Department of Oil, Gas and Geothermal Resources.
- Sustainability Award granted to EDCO for their Household Hazardous Waste program.

Goals

- Goal 1: Manage growth to achieve a well-balanced land use pattern that accommodates existing and future needs for housing, commercial and industrial land, open space, and community facilities and services, while maintaining a healthy, diversified economy adequate to provide future City revenues.
- Goal 2: Ensure that new development is consistent with the City's circulation system, availability of public facilities, existing development constraints and the City's unique characteristics and natural resources.
- Goal 3: Assure a safe, healthy, and aesthetically pleasing community for residents and businesses.

Goal 4: Ensure future land use decisions are the result of sound and comprehensive planning.

Implementation Programs

1. The City will encourage home ownership and improvement of the existing housing stock through residential rehabilitation grants for owner and non-owner occupied single-family dwellings and duplexes. *No grants were approved due to the State action dissolving the Signal Hill Redevelopment Development Agency and subsequent elimination of the residential rehabilitation grant program.*
2. The City will adopt an Infractions Ordinance and seek other ways to improve the code enforcement system and require that property owners maintain their properties. *Adopted and implemented in 2002. In 2014, no administrative citations (infractions) were issued as cases were closed without resorting to the infraction process. Additionally, the City continued to do the annual review and inspections for Adult Oriented Businesses, Conditional Use Permits and Institutions. Links for other resources for housing assistance are available on the City's web site.*
3. The City will use Traffic Calming strategies to reduce cut-through traffic in residential areas. *Most recent efforts included vacation of a segment of Orizaba Avenue south of 19th Street to construct a cul-de-sac as part of the proposed townhome projects in 2006. In 2014, final phase of Aragon project completed the project included construction of Orizaba Avenue cul-de-sac. In 2014, the City prepared public outreach for alternative routes and construction delays related to the Cherry Avenue widening project.*
4. The City will discourage the development of new "unattractive" storage yards and the City will consider amendments/programs designed to improve the appearance of existing storage yards. *In 2005-2006, the City adopted storage yard fencing standards and achieved full compliance on the fencing of approximately 100 storage yards in the City. In 2011, the City adopted standards for storage yards for concealment of items from public view and prohibiting new yards. Additional standards were added for storm water runoff. Notices went out to approximately 100 storage yards and areas with initial compliance estimated at 80%. In 2012, as part of a comprehensive study of trucking yards, the Planning Commission considered new regulations for existing trucking yards and preparing property specific Compliance Plans to address fencing and storm water runoff standards. In 2013, the City adopted standards for trucking yards. As part of the process the City inspected the properties and approved compliance plans. There were 3 properties classified as trucking yard uses and 9 were reclassified as storage yards. Compliance Plans were mailed to all property owners and known tenants with notice of the 180 day compliance requirement. In 2014, all 12 yards made significant property improvements. There are 6 yards, housing a total of 8 separate businesses that have completed all of their required improvements. An additional 2 yards have requested*

property inspections to document full compliance. The remaining 4 properties have additional improvements to complete.

5. The City will revise the Commercial/Industrial zoning standards to discourage the establishment of tractor-trailer truck, van, or bus storage or parking facilities. *In 2006, the City adopted a Trucking Yard Ordinance with performance standards for new trucking yards. Under the Ordinance new trucking yards were only allowed in General Industrial (GI) zones.* In 2013, the City adopted maintenance and operational standards for trucking yards and established compliance plans to facilitate implementation. **In 2014, all 3 existing trucking yards made improvements to their properties in accordance with their compliance plans. There are 2 yards with pending items to complete and 1 yard is in full compliance. No new trucking yards were requested or established.**
6. The City will discourage the development of tractor trailer truck terminals and storage yards. **See response to #4 and #5 above.**
7. The City will encourage home ownership and homeowners' efforts to repair and restore existing housing. **See response to #1 above.**
8. The City will encourage further development of neighborhood shopping opportunities. **In 2014, the following commercial activity occurred:**
 - **Construction completed at the Signal Hill Gateway Center for a 6,500 sq. ft. building for a Chipotle, Sprint, Starbucks and a Bank of America ATM.**
 - **Construction of the Costco gas station was completed.**
 - **Construction is underway for a new office building at 2653 Walnut Avenue.**
 - **Construction is underway for a two-story 18,994 sq. ft. medical office building at 845 E. Willow Street.**
 - **Construction is underway for a new BMW dealership with 77,810 sq. ft. showroom, sales, and service facility and display area.**
9. The Agency will acquire and restore the Las Brisas apartments and establish common ownership and management and maintenance programs. *Construction completed on Las Brisas I in 2004 and Las Brisas II in 2007. Most recent improvements included addition of solar panels on the Las Brisas Community Center in 2010.*
10. The City will implement the Park Master Plan and acquire and develop a Westside park. *Accomplished in 2005 with the construction of Calbrisas Park (0.5 acres) on California Avenue. In 2012, the City adopted a zoning ordinance to facilitate development of a publically managed community garden at 1917 E. 21st Street.* **In 2014, construction was completed and the community garden was opened. A conceptual design for an accessible dog**

park at 3100 California Avenue, north of Spring Street was approved and funding from park impact fees was authorized.

11. The City will consider ways to improve the interface or create buffer areas between existing commercial/industrial areas and residential uses. *In 2011, the City adopted updated standards for outdoor storage yards and areas, including concealment of items from public view and prohibition of new yards. See responses to #4 and #5 above.*
12. The City will prepare specific plans for the Crescent Heights Historic District and the Central Business District. *The Crescent Heights Historic District Specific Plan was completed in 2002. Incentives in the plan have resulted in the development of five houses, including one in 2010. The Central Business District Specific Plan has not been started. In 2014, plans were approved for the Crescent Square development of 25 detached single-family dwellings. The project will complement the Crescent Heights Historic District's architectural style.*
13. The City should encourage the repair and renovation of architecturally or historically significant houses by creating incentives to relocate dwellings into the Crescent Heights area. The Crescent Heights neighborhood should be given a special designation and a Specific Plan should be prepared to establish precise district boundaries, guidelines for design, landscaping, house moving projects, etc. *The Crescent Heights Historic District Specific Plan was completed in 2002. In 2009, the City abated a historic property on Gaviota Avenue, removing inoperable vehicles, junk, and overgrown vegetation. After securing the structure, the City examined its use as a historic museum. In 2014, the property owner of 1790 E. Burnett Street continued renovation of a single-family dwelling in the Crescent Heights Historic District.*
14. The City should continue to require the undergrounding of overhead utilities when practicable for new development, except for high-voltage stems (16kv and above). *In 2010 the City updated the Circulation Element which includes policies for undergrounding.*
15. The City should coordinate traffic circulation studies and traffic enforcement efforts with the Long Beach Unified School District to improve pedestrian safety and traffic flow in vicinity of Signal Hill schools. *Implementation through on-going program. The City works with LBUSD on the review of environmental documents for new school sites. In 2013, the City installed a traffic signal at the Cherry Avenue/E. 20th Street intersection near Jessie E. Nelson and Alvarado schools. In 2014, the City coordinated with Long Beach Unified School District for the creation of a traffic safety committee to address the City's and residents' concerns about traffic and other impacts regarding the Browning High School that is under construction at the corner of Hill and Obispo Avenue.*

16. The City will streamline its housing-moving ordinance and consider developer impact fee waivers to encourage the relocation of architecturally significant/historical dwellings into the Crescent Heights Neighborhood. *Completed -- House-moving process was streamlined in development standards contained in the Crescent Heights Historic District Specific Plan.*
17. The City will encourage mixed-use development to encourage housing near retail centers and transportation corridors. **In 2014, construction was completed on the remaining 47 units of the 81 townhomes in the Aragon development. In addition, plans were approved for residential development of 25 single-family homes adjacent to Town Center West.**
18. The City should encourage the continuation of the development of the hilltop with high-quality housing. **In 2014, the Planning Commission approved plans for development of a single-family dwelling in Area 2 of the Hilltop Area Specific Plan.**
19. The City should require developers to pay their fair share for improving roads and infrastructure related to their projects. *Implemented through ongoing fees and impact fee program. In 2014, the City collected \$23,810 in traffic impact fees.*
20. The City should follow the recommendations in the Hilltop Area Specific Plan regarding landscaping and the careful planting of trees so as not to create view obstructions. *A landscape architect is under contract with the City to review all hilltop landscape plans. The Hilltop Area Master Street Tree Plan was revised in 2003 to minimize view impacts from City street trees through selection of lower and slower growing tree species. In 2010, the City began a tree inventory in preparation of updating the Hilltop Area Master Street Tree Plan. In 2011, this tree inventory was expanded Citywide and the City adopted a Street Tree Ordinance that regulates the planting, maintenance and removal of street trees.*
21. Views from existing dwellings should be preserved when feasible, but efforts to preserve views should not infringe on the rights of property owners to develop in accordance with the existing Hilltop Area Specific Plan. *Implemented through view analysis during Site Plan and Design Review. In 2014, the City's view analysis process was utilized at two residential projects: 2799 E. 21st Street and the Crescent Square development. Story poles were installed and a view notice was sent for a single-family dwelling at 1995 St. Louis Avenue; a resident requested a view analysis at the workshop.*
22. The City should encourage the development of a comprehensive system of sidewalks and trails to encourage walking and hiking and the enjoyment of the view from the Hilltop. *Implemented through Hilltop development. In 2014, the City encouraged the developer of the Crescent Square project and to include a sidewalk trail. Approved plans included a trail segment to and from the hilltop trail system, Historic District and Town Center.*

23. The City should consider revision or deletion of PD-2 zoning district. *In 2007, 17 single-family homes were completed under the SP-14 Hathaway Ridge Specific Plan, formerly a part of the PD-2 zoning district.*
24. The City should encourage home ownership through efforts to develop affordable housing and home improvement through rehabilitation grants. **See responses to #1 above.**
25. The City should encourage further renewal efforts along Pacific Coast Hwy. **In 2014:**
- **Construction of Aragon the residential development at Orizaba Avenue at Pacific Coast Highway was completed.**
 - **The Planning Commission held a workshop for potential development of a site at Pacific Coast Highway and Molino Avenue.**
26. The City should prepare a Specific Plan and rezone the Atlantic/Spring neighborhood for General Industrial and Commercial use. *In 2008, construction was completed of the A&A concrete batch plant at 900 Patterson Street. In 2010, construction began on the EDCO recycling and solid waste transfer station at 2755 California Avenue. In 2012, construction was completed on both the EDCO administrative offices and truck terminal at 950 E. 27th Street and the EDCO recycling and solid waste transfer station at 2755 California Avenue. In 2014, the improvements at the Signal Hill Gateway Center for a Chipotle, Starbucks, Sprint and a Bank of America ATM were completed.*
27. The City shall provide a range of housing types to meet the needs of the community. **In 2014, the City:**
- **Adopted the Housing Element for an 8-year planning period of 2013-2021 and received State certification. The 2013-2021 update demonstrates that the City has identified sites to meet the City's Regional Housing Needs Assessment allocation.**
 - **In August, the City adopted a Zoning Ordinance Amendment for special needs housing for further compliance with the Housing Element and to provide additional housing opportunities.**
 - **The City selected MetaHousing Corporation for development of 72 affordable housing units at 1500 E. Hill Street**
 - **The City approved plans for Crescent Square 25 detached single-family dwellings.**
 - **Construction was completed on the remaining 47 units of the 81 townhomes in the Aragon development.**
28. The City shall provide its fair share of affordable housing consistent with State regulations. *Construction completed on Las Brisas I in 2004 and Las Brisas II in 2007. In 2008, the City approved plans for SP-7, Special Purpose Housing for*

the development of 60 multi-family dwelling units for very low and low-income households at a 1.4 acre site on Hill Street at Walnut Avenue. In 2014, Meta Housing was selected as the developer for affordable housing at 1500 E. Hill Street. Conceptual plans for 72 multi-family dwellings in compliance the SP-7 Specific Plan were submitted for staff review.

29. Developers shall pay their fair share for the cost of providing infrastructure improvement costs. *Implemented through ongoing programs. Impact fees for water, parks and recreation and traffic improvements collected on all eligible projects are as follows:*

- *In 2010, the City collected a total of \$550,699 in impact fees –*
 - *\$268,929 in water fees*
 - *\$205,834 in parks and recreation fees*
 - *\$75,936 in traffic fees*
- *In 2011, the City collected a total of \$350,270 in impact fees –*
 - *\$100,138 in water fees*
 - *\$220,418 in parks and recreation fees*
 - *\$29,534 in traffic fees*
- *In 2012, the City collected a total of \$186,391 in impact fees –*
 - *\$122,427 in water fees*
 - *\$49,907 in parks and recreation fees*
 - *\$14,057 in traffic fees*
- *In 2013, the City collected a total of \$664,528 in impact fees –*
 - *\$619,016 in water fees*
 - *\$29,238 in parks and recreation fees*
 - *\$16,275 in traffic fees*
- **In 2014, the City collected a total of \$70,050 in impact fees –**
 - **\$29,119 in water fees**
 - **\$17,121 in parks and recreation fees**
 - **\$23,810 in traffic fees**

30. Gated communities with private security measures are encouraged to lower public policing costs. **In 2014, no new projects were approved that featured entry gates.**

31. The City shall use the Specific Plan process for planning major development projects. **In 2014, the City approved a Zoning Ordinance Amendment for revisions to the Crescent Square Residential Specific Plan and approved plans for development. Other projects approved in Specific Plan areas include the Costco gas station, BMW dealership, Chipotle, Sprint and Starbucks.**

32. The City shall protect and enhance public viewing areas. *Accomplished with the Sunset View and Discovery Well parks, the Panorama Promenade, hilltop trails and Tribute to the Roughneck statue and public viewing area west of the Sunset View Park on Skyline Drive. In 2014, conceptual plans for a view park at*

Cherry Avenue and Burnett Street were developed. Construction is anticipated in fiscal year 2015/2016.

33. The City will discourage the planting of trees that may mature to view obstructing heights through the Site Plan and Design Review process, and encourage property owners to enforce their homeowner's association rules and regulations concerning tree pruning and landscape maintenance. *Implemented through the Site Plan and Design Review process by having the City's landscape architect consultant review all tree plans for view impacts. Accomplished and ongoing.*
34. The City shall, through the Site Plan and Design Review process, maintain a high level of control over design and architecture to achieve highest quality development. *Implemented through the Site Plan and Design Review process. In 2014, 5 Site Plan & Design Review applications were approved* (6 approved in 2013, 3 approved in 2012, 6 approved in 2011, 6 approved in 2010, 7 approved in 2009, 8 approved in 2008, 21 approved in 2007).
35. The City shall consider historic preservation when renovating City Hall and Civic Center buildings. *In 2012, the City Council approved the conceptual design and site plan for the development of a new library to be located across the street from City Hall. The approved conceptual design included historic tributes to Signal Hill's past, including an oil derrick-inspired lighting concept and mosaic art at the entry. In 2014, the conceptual plans for the Library were partially complete, the design incorporates architectural elements that are to City Hall's art deco design. See response to #44 below.*
36. The City shall assure long lasting beauty and durable development through providing high quality plan review and inspection of construction. *Implementation ongoing through building plan-check and inspection programs. In 2014, 48 certificates of occupancy were granted for residential units and 1 for a restaurant/retail building* (2013: 63 certificates of occupancy were granted for residential units and 1 for restaurant/commercial building; 2012: 16 certificates of occupancy were granted for 13 residential units and 3 commercial/industrial buildings; 2011: 18 residential units and 1 commercial/industrial building; 2010: 10 residential units and 3 commercial/industrial buildings).
37. The City shall maintain an attractive oil field by enforcement of the Oil Code landscaping and painting regulations. *Implemented through annual oil field inspections program. In 2014, the following activities occurred:*
- **The City's Oil Code has established landscaping, fencing, and maintenance standards for well sites and well sites are reviewed year round for compliance. In 2014, landscape, fencing and maintenance improvements were made to the 7 SHP drill sites as part of their Conditional Use Permit (CUP) extension and annual review. New fencing, landscaping and mulch was installed on the perimeter of the well sites on 21st Street west of Temple Avenue and dust retardant**

grindings were installed on the access roads. Stormwater runoff measures were also installed. The City continues maintenance and landscape inspections at individual wells and the 7 consolidated drill sites for items such as paint on wells/tanks, weeds, dust, noise and landscaping.

38. The City shall strive to improve the appearance of existing storage yard and older industrial properties through creative programs like the Orange Avenue Improvement Programs. *The City adopted new storage yard fencing standards in 2005 and by the end of 2006, 100% of the yards had complied with the ordinance. In 2011, the City held public workshops and hearings and approved updated standards for concealing items within outdoor storage yards and areas from public view. Additionally, stormwater standards were added and new outdoor storage yards prohibited.* **See responses to #4 and #5 above.**
39. The City will review and revise, as necessary, parking lot standards and parking requirements for all land use categories. *In 2004, residential garage parking standards were revised in 2004 to require more garage spaces for larger dwellings. In 2005, a requirement for 72 cubic feet of accessory storage space was made for all new residential construction. In addition, a new ordinance was adopted increasing parking standards for multi-family residential projects by requiring one extra parking space per bedroom over two. In 2006, the City adopted stricter standards for single-family and duplex development by requiring 2, 3 or 4 stall garages based on the number of bedrooms. In 2008, the City modified the zoning ordinance to eliminate off-site parking for commercial properties requiring all projects to provide their parking on-site.*
40. The City shall encourage the repair and restoration of historically/architecturally significant dwellings. *The Crescent Heights Historic District Specific Plan was adopted in 2002. To date, two dwellings have been moved into district and an existing dwelling was restored. In 2008, construction was completed on one replica dwelling at 2450 Gaviota Avenue. In 2009 construction was completed on another replica dwelling at 1698 Crescent Heights Street. In 2009, the City abated nuisances (trash, junk vehicles, and overgrown vegetation) on a historic property on Gaviota Avenue.* **See response to #13 above.**
41. The City will, through its land use policies, continue to diversify the City's economic base. The City will encourage the growth of the Auto Center and Town Center retail sales tax generating businesses and the development of diversified sources of sales taxes such as business-to-business sales. *In 2008, the City rezoned several properties along Spring Street to SP-4, Auto Center Specific Plan, to expand the Auto Center. In 2013, construction of a temporary showroom for the Glenn E. Thomas FIAT dealership was completed and charging stations for electric vehicles were installed. Additionally, the expansion and renovation plans for Long Beach Honda was approved.* **In 2014, the following activity occurred:**

- **The Gateway Center was completed, the final building pad included both retail and restaurant uses.**
 - **The Costco gas station in the Town Center East completed construction and opened for business.**
 - **Plans were approved for a new BMW dealership at 1660 E. Spring Street, and once constructed the existing dealership on Cherry Avenue will expand into a large MINI dealership.**
42. The City shall enforce the Oil Code to minimize the effects of the interactions of oilfield activities and other urban uses. In 2010, Signal Hill Petroleum Company implemented the Long Beach-Signal Hill geophysical survey. **In 2014 the following activities related to oil operations and future development occurred:**
- **The CUP for the seven drill sites operated by Signal Hill Petroleum (the SHP drill sites) was extended for 30 months to allow time for preparation of a comprehensive plan for future drilling operations throughout the City.**
 - **The City's Oil Code continues to restrict development on properties with abandoned oil wells however, the technical water study related to the pending Oil Code amendment was completed with a conclusion that oil operations had not negatively impacted the water quality or quantity in Signal Hill and the Long Beach Oil Field. The petroleum report was also completed and provided a replacement equivalency standard for well abandonments that is consistent with the standard previously used by DOGGR. Inclusion of the equivalency standard in the pending Oil Code amendment will lift the current restrictions on development throughout the City.**
43. The City shall study the nonconforming uses ordinance and mechanisms to abate nonconforming uses over time. *In 2013, a study session was held with the Planning Commission discuss discontinuance time frames for nonconforming uses and properties.*
44. The City should improve library services and seek funding to develop a new larger library. *In 2012, the City Council approved the conceptual design and site plan for the construction development of a new library to be located across the street from City Hall. Conceptual plans for the Library are partially complete but funding is uncertain due to the dissolution of the Redevelopment Agency.*
45. The City will continue to collect developer impact fees from developers of new projects consistent with the need to upgrade and complete park, sewer and water storm drain and circulation master plans. *Accomplished and ongoing (Ordinance was last revised in October 2003). See response to #29 above.*

46. The City shall periodically review and revise developer impact fees to assure that development pays its fair share of the infrastructure costs, and also to assure that developer impact fees do not discourage new development. *Accomplished through annual evaluation of the list of improvements to be constructed with the fees. The numerous projects approved in recent years suggest that the fees are not detrimental to development.*
47. The City will adopt and implement storm water discharge regulations consistent with State regulations in order to improve water quality of urban runoff and of the Pacific Ocean. *Implemented through ongoing compliance program. In 2013, the City amended Chapter 12.16 of the Signal Hill Municipal Code to incorporate low impact development measures in response to the Municipal Separate Storm Sewer System (MS4) permit requirements. In 2014, the City approved plans for 4 projects with low impact development (LID) measures including use of filterstrips and underground chambers.*
48. The City will adopt storm water discharge regulations to improve water quality consistent with State law. *Implemented through ongoing compliance program. See response to #47 above. In 2014, the City hosted a workshop and adopted a Parkway Design Guide with guidelines for alternative, low water use landscaping within the parkway as an alternative to turf.*
49. The City will periodically adopt the most recent editions of the Uniform Building Codes. **In 2014, the City enforced the 2013 California Code of Regulations which include the CalGreen standards.**
50. The City will consider adopting energy conservation regulations consistent with State law and local needs. *Implemented through enforcement of State law. In 2008, the City created a Sustainable City Committee to study and implement an action plan to address environmental issues such as energy conservation. In 2012, the Sustainable City Committee continued to meet monthly to discuss and implement programs toward achieving greenhouse gas reduction per AB 32 and SB 375, and provide residents with education to encourage energy conservation and use of renewable alternatives. The City also continued to enforce the State's CalGreen building code. As recommended by the Sustainable City Committee, the City Council adopted the Green City Report which documented the accomplishment of nine local urban environmental goals and qualified the City for self-certification as a One-Leaf Green City. In 2014, the Sustainable City Committee continued to meet bi-monthly to discuss and implement programs to accomplish local goals. In addition, the City continued to implement the CalGreen building code. Projects that were constructed that incorporate green features include Aragon's solar panel system, the solar system at the EDCO administrative terminal, two new electric vehicle charging stations at the two Fresh & Easy sites and approval of an electric charging station to promote sales of electric vehicles at the BMW dealership. In addition, the Police Department's solar system became*

operational and the system supplies the facility with approximately 30% of its energy during the day and 15% of its overall energy usage.

51. The City will consider the formation of its own school district. *The City funded a study in consideration of its own school district in 2002 and no further action was taken.*
52. The City will support the Spring Street Corridor Joint Powers Authority to facilitate the coordination of development projects in the cities of Long Beach and Signal Hill. *The JPA contributed to the Spring Street widening process during the expansion of the Long Beach Memorial Hospital and the inactive Long Beach Sports Park.*
53. The City should form a joint powers authority or other agreement with the City of Long Beach for the coordinated improvement of PCH. *In 2006 and 2009, the City approached the City of Long Beach about expanding the role of the Spring Street JPA to other areas along the shared boundaries but no further progress has been made.*
54. The City will continue to coordinate with the City of Long Beach traffic studies, grant applications and capital improvement projects to improve the circulation system. *Accomplished through the Cities working together and completing the widening of Spring Street from California Avenue to Long Beach Boulevard. In 2005, Federal funding was appropriated for the improvement of the intersection of PCH and Cherry Avenue. In 2014, the cities continued to work together on the Cherry Avenue Widening Project and California Avenue Widening Project. Construction of Cherry Avenue widening project began. See response to # 3 above.*
55. The City will continue the Planning Commission recognition program to encourage homeowners and businesspersons to update and beautify existing development. *Implemented periodically by Planning Commission nominations. In 2014, the Commission granted one beautification award for an industrial project and three beautification awards to residential projects (one homeowners association and two single-family dwellings). In celebration of the City's 90th Anniversary the City held events, programs and historical displays.*
56. The City will hold General Plan workshops to obtain community input for the General Plan and future updates. **In 2014 the following activities occurred:**
 - **The City adopted the 2013-2021 Housing Element and the Housing Element was certified by the state.**
 - **The City held a visioning workshops to get input from residents and local business owners on the 2015-2020 Strategic Plan goals and programs.**

57. The City will prepare an annual report on the implementation of the General Plan consistent with State law. *Implemented through completion of the annual progress report.*
58. The City will contribute data for the State Department of Finance's annual population estimate program and monitor U. S. Census information. *Implemented through annual response to State survey requests. In 2009, Planning Department staff participated in the U.S. Census address and boundary update process. In 2010, staff received and monitored 2010 Census counts. In 2014, the population estimate was 11,411 (11,218 in 2013, 11,135 in 2012; 11,060 in 2011; 11,016 in 2010).*
59. The City will monitor State and Federal land use legislation that may impact Signal Hill and, when appropriate, advocate positions advantageous to the improvement of the City. *The City actively monitors legislation and advocates positions through participation in the Gateway Cities Council of Governments. In 2012, the City advocated against calls for dissolution of redevelopment agencies.*
60. The City will continue to use Specific Plans to improve on the quality of new development. **See response to #31 above.**
61. The City will monitor and when appropriate, support State and Federal legislation that maintains or improves local financing capabilities. *Implemented through ongoing legislative review.*
62. The Agency will continue its efforts to implement the Redevelopment Project Area No. 1, as amended. *Implemented through ongoing Redevelopment Agency programs. In 2007, the Agency achieved its goal of promoting affordable housing with the completion of the 60 apartments in Phase II of the Las Brisas affordable housing project. In 2008, the City adopted SP-7, Special Purpose Housing Specific Plan, for a 1.4 acre site at Hill Street and Walnut Avenue to provide up to 60 multi-family dwellings for very low and low-income households. In 2010, the Redevelopment Agency pursued acquisition of dilapidated properties in the City for future redevelopment. In 2011, the Redevelopment Agency had completed the purchase of the Hill Street property for the future development of affordable housing. By the end of the year, the actions by the Agency had been suspended pursuant to proposed elimination of redevelopment on a statewide basis as part of the State budget process. In 2012, the State approved the dissolution of redevelopment agencies. In response, the City established a Successor Agency and began work with the Oversight Board created to oversee the winding down of the Signal Hill Redevelopment Agency. In 2014, the Long Range Property Management Plan (PMP) was submitted to the California State Department of Finance for review. The former agency owned 25 acres of property slated for commercial and retail uses that have been included in the PMP which was prepared in 2013. The purpose of the PMP is to outline the process for selling the former agency properties. Properties may be categorized as follows: properties for*

government use; properties to sell; properties for future development; and properties to fulfill an enforceable obligation.

Housing Element

Status Overview

The 2013-2021 Housing Element contains 11 goals and 17 implementation programs. It is the *only* element that is reviewed both by the State Office of Planning and Research (OPR) *and* separately by the State Department of Housing and Community Development (HCD) in a prescribed format, attached.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction City of Signal Hill

Reporting Period 01/01/2014 - 12/31/2014

Table A

Annual Building Activity Report Summary - New Construction Very Low-, Low-, and Mixed-Income Multifamily Projects

Housing Development Information								Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions	
1	2	3	4				5	5a	6	7	8
Project Identifier (may be APN No., project name or address)	Unit Category	Tenure	Affordability by Household Incomes				Total Units per Project	Est. # Infill Units*	Assistance Programs for Each Development	Deed Restricted Units	Note below the number of units determined to be affordable without financial or deed restrictions and attach an explanation how the jurisdiction determined the units were affordable. Refer to instructions.
		R=Renter O=Owner	Very Low- Income	Low- Income	Moderate- Income	Above Moderate- Income			See Instructions	See Instructions	
None											
(9) Total of Moderate and Above Moderate from Table A3 ▶											
(10) Total by income Table A/A3 ▶ ▶											
(11) Total Extremely Low-Income Units*											

* Note: These fields are voluntary

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

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Jurisdiction City of Signal Hill

Reporting Period 01/01/2014 - 12/31/2014

Table A2
Annual Building Activity Report Summary - Units Rehabilitated, Preserved and Acquired pursuant to GC Section 65583.1(c)(1)

Please note: Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in GC Section 65583.1(c)(1)

Activity Type	Affordability by Household Incomes				(4) The Description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1
	Extremely Low-Income*	Very Low-Income	Low-Income	TOTAL UNITS	
(1) Rehabilitation Activity				0	None
(2) Preservation of Units At-Risk				0	None
(3) Acquisition of Units				0	None
(5) Total Units by Income	0	0	0	0	

* Note: This field is voluntary

Table A3
Annual building Activity Report Summary for Above Moderate-Income Units (not including those units reported on Table A)

	1. Single Family	2. 2 - 4 Units	3. 5+ Units	4. Second Unit	5. Mobile Homes	6. Total	7. Number of infill units*
No. of Units Permitted for Moderate	17					17	
No. of Units Permitted for Above Moderate	1					1	

* Note: This field is voluntary

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

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Jurisdiction City of Signal Hill

Reporting Period 01/01/2014 - 12/31/2014

Table B

Regional Housing Needs Allocation Progress

Permitted Units Issued by Affordability

Enter Calendar Year starting with the first year of the RHNA allocation period. See Example.			2013	2014	2015	2016	2017	2018	2019	2020	2021	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Income Level		RHNA Allocation by Income Level	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9		
Very Low	Deed	44											44
	Restricted Non-deed restricted												
Low	Deed	27											27
	Restricted Non-deed restricted												
Moderate	Deed	28											5
	Restricted Non-deed restricted		6	17								23	
Above Moderate		70	44	1								45	25
Total RHNA by COG. Enter allocation number:		169	50	18								68	101
Total Units ▶ ▶ ▶													
Remaining Need for RHNA Period ▶ ▶ ▶ ▶ ▶													

Note: units serving extremely low-income households are included in the very low-income permitted units totals.

ANNUAL ELEMENT PROGRESS REPORT

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Jurisdiction City of Signal Hill

Reporting Period 01/01/2014 - 12/31/2014

Table C
Program Implementation Status

Program Description (By Housing Element Program Names)	Housing Programs Progress Report - Government Code Section 65583. Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.		
Name of Program	Objective	Timeframe in H.E.	Status of Program Implementation
1. Adequate Sites Program	Minimum of 13 housing units for lower income households	Dec. 3, 2013	Completed - On December 2, 2013 the City Council approved a Zoning Ordinance Amendment 13-04 to increase the capacity of 1500 E. Hill Street to 72 housing units.
2. Second Unit Development Program	20 second units constructed	October 2013 - October 2021	In progress - In 2014, the City approved plans for development of a second unit at 3360 Lemon and duplex at 924 Vernon.
3. No Net Loss Program	Establish the evaluation procedure to monitor housing capacity	June-July 2014	In 2014, all residential units identified in the 2013-2021 Housing Element to accommodate the City' share of regional planning need remain zoned for residential uses.
4. Zoning Ordinance Amendments to Provide a Variety of Housing Types	Adopted amendments	January 7, 2014 and June-July 2014	In progress - On January 7, 2014, the City approved Zoning Ordinance Amendment 13-05 for emergency shelters. On September 9, 2014 the City approved Zoning Ordinance Amendment 14-02 for transitional housing, supportive housing, and single-room occupancy.
5. Section 8 Rental Assistance for Cost Burdened Lower Income Households	55 units for lower income renter households	October 2013 - October 2021	Ongoing - The LA County Housing Authority administers the Los Angeles County Section 8 Housing Choice Voucher Program. Informational links are provided on the City's web site.
6. Hill Street Affordable Housing Development	72 housing units for lower income households	ZOA on December 3, 2013; Development October 2013- October 2021	In progress - In 2013, a Request for Qualifications was posted. In 2014, Meta Housing Corporation was selected as the developer for the site and prepared site and design plans for review.
7. First Time Home Buyer Assistance	5 lower income households	October 2013 - October 2021	In process- The City does not have money in the affordable housing fund due to the dissolution of the Signal Hill Redevelopment Agency. The City has information about non-City programs on the City website.
8. Outreach Program for Persons with Developmental Disabilities	Coordinate with Harbor Regional Center	Implement outreach components mid year 2015	In process- The City is developing coordination and outreach programs with the Harbor Regional Center, which provides services for the disabled and plans to implement the programs in the upcoming year. Informational links for the Regional housing Center are posted on the City's web site.
9. Extremely Low Income Housing Program	Assist 57 extremely low income households	October 15, 2013 through October 15, 2021	Ongoing- Administered through Implementation of Programs #5, 6, 8, and 12

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

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Jurisdiction City of Signal Hill

Reporting Period 01/01/2014 - 12/31/2014

10. Zoning Ordinance Amendments to Remove Governmental Constraints on Housing for the Disabled	Adopted amendments	June-July 2014	In process - On September 9, 2014 the City approved Zoning Ordinance Amendment 14-02 to update the definitions for transitional and supportive housing, single room occupancy, licensed group home, family and single housekeeping unit. The special needs housing types were allowed as permitted uses either by right or with a conditional use permit and in designated zoning districts. A draft amendment for reasonable accommodations has been prepared and is expected to be adopted in 2015.
11. Zoning Ordinance Amendments to Encourage and Facilitate the Development of Affordable Housing - Update Density Bonus Ordinance (DBO)	Adopted DBO	June-July 2014	In process- The City will draft language to update the density bonus ordinance to meet Government Code Requirements in the upcoming year.
12. Annual Housing Monitoring Program	Monitor height limits and parking standards as potential constraints	October 2013 - October 2021	In process - The City has eliminated the height limit and parking constraints by approving increased height limits and reduced parking requirements for housing developments with affordable housing units.
13. Housing Code Enforcement Program	2-5 new cases per month	October 2013 - October 2021	Completed and Ongoing - In 2014, the City closed 46 cases an average of 2-3 cases per month.
14. Housing Rehabilitation Program	20 housing units	October 2013 - October 2021	The City missed the 2014 application deadline. In 2015, the City will monitor the application period to apply for available funds.
15. Fair Housing Services Program	65 lower income households	October 2013 - October 2021	The City provides residents with flyers provided by the Housing Rights Center and will coordinate a workshop next year.
16. Fair Housing Information Program	Information disseminated	June 2014 and then ongoing	Ongoing- The City provides residents with informational flyers provided by the Housing Rights Center.
17. Energy Conservation Program	Promote <i>Primer</i> and encourage weatherization and energy efficient home improvements	October 2013 - October 2021	Ongoing- The City implements the 2013 CalGreen requirements and promotes Green Building by providing developers with information on the City's Green Building policy.

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
(CCR Title 25 §6202)

Jurisdiction City of Signal Hill
Reporting Period 01/01/2014 - 12/31/2014

General Comments:

Circulation Element

Status Overview

The 2010 Circulation Element contains 8 goals and 33 implementation programs.

- Goal 1: Ensure that new development results in the preservation and enhancement of the City's circulation system.
- Goal 2: Provide a safe and efficient roadway system for all users.
- Goal 3: Create a safe and comfortable environment for pedestrians and bicyclists, encouraging the use of these modes of transportation for the majority of shorter trips.
- Goal 4: Maintain and enhance the City's public transportation network, increasing its role as a critical element for mobility in the area.
- Goal 5: Permit safe and efficient goods movement to support regional commerce and industry, while minimizing undesirable impacts on Signal Hill residents.
- Goal 6: Provide safe, efficient, and environmentally-friendly utilities systems and pipelines.
- Goal 7: Reduce single-occupant vehicle travel by establishing Transportation Demand Management (TDM) programs.
- Goal 8: Minimize the environmental impact of transportation systems in Signal Hill.

Implementation Programs

NEW DEVELOPMENT AND REGIONAL COOPERATION

1. Evaluate development projects for General Plan consistency, including goals, policies, and implementation measures in other General Plan elements. *Accomplished during plan review.* **In 2014, the Planning Commission evaluated 5 Site Plan and Design Review applications, renewed 1 Conditional Use Permit and 2 Zoning Ordinance Amendments for General Plan consistency. In addition, in 2014 the 2013-2021 Housing Element was adopted by the City and certified by the State.**
2. Discourage further development of truck yards and truck storage facilities that support the port activities and instead encourage residential, commercial, and light industry less likely to generate high volumes of tractor-trailer type truck

traffic. *Accomplished and ongoing.* In 2013, staff continued to work on the comprehensive study of the negative impacts associated with the twelve existing trucking yards and potential mitigation measures to reduce them. Property inspections of the twelve properties were completed, and as part of the process 3 of the properties were designated as trucking yards and the others were reclassified as various types of storage yards. The City adopted standards for new trucking yards in the General Industrial (GI) zone and established compliance plans for the 3 designated existing non-conforming trucking yards. Compliance Plans were mailed to all property owners and known tenants with notice of the 180 day compliance requirement. **In 2014, six of twelve yards, housing a total of eight separate businesses completed required property improvements in accordance with their compliance plans. Two additional properties have requested property inspections to document completion of their plans. The remaining four properties have all made significant improvements aesthetically and with stormwater runoff compliance, but have additional improvements to complete.**

3. Require traffic studies for development proposals to improve the flow of traffic, reduce parking and traffic congestion, and mitigate noise and odor impacts on sensitive receptors. *Required on a case-by-case basis as part of plan review.* **In 2014, the follow up traffic study was completed once the Costco gas station was operational the street traffic was less than predicted in the initial traffic study and mitigation measures were added for on-site circulation. A traffic study and parking analysis was also completed for a future affordable housing development at 1500 E. Hill Street.**
4. Participate in regional planning efforts to strengthen coordination and compatibility of local and regional plans and circulation systems. *Accomplished by participation in committees, events and meetings of the Southern California Area of Governments (SCAG), particularly the Gateway Cities Council of Governments (COG). In 2010, the City actively participated in the "Sustainable Community Strategies" (SCS) meetings conducted by SCAG to develop regional reduction targets for greenhouse gas emissions as required under Senate Bill 375. In 2012, Signal Hill continued to actively participate in the Gateway Cities COG, which completed its SCS and submitted it to SCAG to be included as a part of the 2012-2035 Regional Transportation Plan (RTP). The draft RTP was adopted in 2012. Additionally in 2012, the City, in conjunction with the Metropolitan Transit Authority and the Gateway Cities COG, completed a mitigation impact fee pilot study. In 2014, the following occurred:*
 - **Signal Hill continued to actively participate in the Gateway Cities COG, which has continued work on the 2016-2040 draft RTP/SCS, through general plan, zoning, existing land use and resources data collection, a local government questionnaire for submittal to SCAG for inclusion in their data base and development of the Strategic Transportation Plan.**

- **The City receives regular updates from the COG on cap and trade funding for future transportation and affordable housing projects.**
 - **Construction began for the Cherry Avenue Widening project which is identified as a project in the 2013-2025 RTP.**
5. Require that developers dedicate right-of-way and construct required public works improvements on streets adjacent to construction projects concurrent with development. *Accomplished as conditions of approval for site plan and design review. In 2014, the City began discussions with the City of Long Beach to widen California Avenue.*
 6. As part of the annual review of the Capital Improvement Program (CIP), define the needs and deficiencies within the circulation system and introduce the most urgent projects into the City's budget process. *Accomplished during annual budget review. In 2014, the City selected a contractor for construction of the Cherry Avenue widening project and prepared public outreach for road closure/construction delays. Construction began on December 31, 2014 and the estimated completion is June of 2015.*
 7. Prepare guidelines that describe the City's process for qualifying for CEQA streamlining for residential mixed-use projects and "Transportation Priority Projects" as provided under State law. *Not implemented.*
 8. Evaluate the City roadway system and vacate roads that are redundant or necessary. *Accomplished during plan review.*
 9. Consider the use of private roadways in new development to reduce short- and long-term maintenance expenses incurred on the City. *Accomplished and ongoing. In 2014, the City approved plans for Crescent Square a residential development for 25 single-family dwellings. The streets, Green and Gaviota Place, will be private roadways and will be maintained by the Homeowner's Association.*

ROADWAYS

10. Study the re-design and seek funding for improvement of the Cherry Avenue/I-405 Freeway off-ramp at Cherry Avenue (north) including realignment and signalization to allow southbound turns onto Cherry Avenue. *On-going analysis.*
11. Amend the Plan Lines Map Ordinance (SHMC Chapter 20.72) to:
 - List all streets which do not meet the minimum right-of-way width for the applicable roadway designation. *Not implemented.*
 - Remove all other lists of streets. *Not implemented.*

- Establish the Plan Lines Map as a separate document from the General Plan, and incorporate it by reference into the SHMC. *Accomplished and shall be amended as needed.*
12. Support efforts by the City of Long Beach to widen Cherry Avenue from Pacific Coast Highway north to the Signal Hill city limits. **See responses to #6.**
 13. Continue use of traffic calming strategies to preserve the peace and quiet of residential neighborhoods. *Accomplished and ongoing. In 2010, the City vacated Orizaba Avenue as a traffic calming strategy for the residents to the north and as part of the Pacificwalk Specific Plan development.*
 14. Include landscaped medians and decorative street furniture in designs for circulation system improvements. *Accomplished and ongoing. In 2010, the City funded irrigation improvements for the landscaped medians along E. Willow Street.*
 15. Require efficient use of parking facilities and develop new parking lots concurrently with new developments consistent with the zoning ordinance requirements and land use categories of the Land Use Element. *Accomplished and ongoing through plan review.*
 16. Support the implementation and future expansion of the Douglas Park Advanced Traffic Control System and/or other Intelligent Transportation Systems along Pacific Coast Highway and other major roadways. *Accomplished through monitoring by Long Beach Traffic Management Center. Willow Street, Cherry Avenue and Pacific Coast Highway traffic signals are synchronized at a regional level.*
 17. Evaluate and consider reducing transportation impact fees for mixed-use projects near major transit corridors that offer extensive facilities and programs that will reduce vehicle miles traveled. *Not implemented.*

PEDESTRIAN AND BICYCLE CIRCULATION

18. As areas redevelop or roadways are widened, consider the addition of bike lanes to street sections. *Accomplished during plan review.*
19. Increase and improve the network of public and private trails and sidewalks to encourage active recreation and fitness, and to provide public access to parks, open space areas, and public view and vista locations. *Accomplished and ongoing. In 2013, the City applied for a trail renovation grant as part of the Los Angeles County Competitive Trails program requesting \$134,720 for trail improvements for Bixby Ridge near Discovery Well Park. In 2014, a grant for \$109,000 was received for trail renovations.*

20. Where appropriate, require new residential development to include trails and sidewalks that link to parks and view locations. *Accomplished during plan review. In 2014, Crescent Square was approved which included a pedestrian trail at the east side of the development to provide an additional connection from the hilltop and Historic District to the Town Center.*
21. Consider amending the SHMC to increase the amount of required bicycle parking for projects in commercial, mixed-use, and other heavily-trafficked areas. *Not implemented.*
22. Coordinate future bikeway expansion with the City of Long Beach to ensure appropriate connectivity is provided at City boundaries. *The 2010 Circulation Element added 5.5 miles of bike paths designated throughout the City as part of a new Bicycle Master Plan.*
23. Design access to new developments and buildings to encourage walking. *Accomplished during plan review. See response to #20.*
24. Participate in and implement recommendations of the Safe Routes to Schools Program. *In 2013, the signal and crosswalk improvements at Cherry Avenue for Alvarado Elementary School and Jessie E. Nelson Middle School were installed and completed. See response to #15 in the Land Use Element .*

PUBLIC TRANSIT

25. Support increased-frequency transit service and capital investments to serve high-density employment, commercial, residential, or mixed-use areas and activity centers. *Accomplished and ongoing.*
26. Support continued implementation of TranSmart technologies by Long Beach Transit at Signal Hill bus stops. *Accomplished and ongoing.*

GOODS MOVEMENT

27. Continue to enforce truck route regulations to minimize the impacts of truck traffic on residential neighborhoods. *Accomplished and ongoing. In 2013, the City adopted standards for trucking yards and compliance plans. As part of the process the City inspected the properties and designated 3 of the properties as trucking yards and reclassified the others as storage yards or contractors' storage yards. A traffic study was prepared analyzing current and alternative truck routes. In 2014, no change in trucking routes was recommended and there have been no reported impacts on traffic from the three existing trucking yards in the City. No new trucking yards were requested or approved in the City.*

28. Design review for new commercial, industrial, and mixed-use developments shall consider and minimize noise and other impacts of truck traffic, deliveries, and staging on nearby homes. *Accomplished and ongoing.* **In 2014, the site plan for the Costco gas station included locating the gas station further away from the adjacent residential development and fuel delivery trucks are directed to use Dawson Avenue for access.**

UTILITIES

29. Where physically and economically feasible, underground overhead utility lines. *Accomplished during plan review.*
30. Promote pipeline safety by requiring compliance with State pipeline inspection and safety monitoring programs. *Accomplished.*
31. Evaluate City standards to ensure that no undue restrictions are placed on the development of small-scale renewable energy units such as rooftop photovoltaic panels. *In 2009, the City Council adopted the California Energy Commission's New Homes Solar Partnership Municipal Toolkit as a reference document to assist the public with the installation of solar energy devices, including rooftop panels.* **In 2014, permits for residential rooftop photovoltaic systems were approved through the ministerial process; solar panel systems were installed for all the Aragon residential development and 23 building permits were issued for solar panels for single-family homes throughout the City. The rooftop photovoltaic system was installed at the EDCO administrative offices. Permits were issued for electrical vehicle charging stations at the two Fresh & Easy's and the new BMW dealership.**

TRANSPORTATION DEMAND MANAGEMENT

32. Encourage major employers to develop and implement TDM programs to reduce peak-period trip generation. *Not implemented.*
33. Develop TDM programs for City employees, and provide incentives for their use. *Not implemented.*

Environmental Resources Element

Status Overview

The Environmental Resources Element contains 6 goals and 38 implementation programs.

Goals

- Goal 1: Maintain and enhance aesthetic quality of Signal Hill through its transition from oilfield to balanced land uses.
- Goal 2: Maintain and enhance cultural and historic areas.
- Goal 3: Provide a variety of passive and active parks.
- Goal 4: Manage petroleum production.
- Goal 5: Minimize environmental degradation and encourage restoration.
- Goal 6: Provide public information on environmental issues.

Implementation Programs

1. Review and revise zoning to encourage preservation of the natural terrain. *Accomplished and ongoing through Park and Recreation Master Plan and specific plans. In 2005, the North Slope Steering Committee was formed to develop a land acquisition plan for the North Slope to create the Chawot Nature Preserve. In 2006, the Committee submitted a report to the City Council recommending that the City acquire 11 acres of land for the preserve. In 2007, the City submitted a grant application to the Conservancy and was granted Tier II status but funding was never secured*
2. Evaluate individual projects to ensure protection of views and preservation of the natural topography wherever possible. *Accomplished through view analysis procedure and site plan and design review. In 2014, the City's view analysis process was utilized at two residential projects: 2799 E. 21st Street and the Crescent Square development.*
3. In preparing capital improvement plans, consider view protection and protection of natural resources. *Accomplished and ongoing. In 2014, conceptual plans for a view park at Cherry Avenue and Burnett Street were developed. Construction is anticipated in fiscal year 2015/2016.*
4. Adopt green belt plan. *Accomplished through Park and Recreation Master Plan 1989 and specific plans. See response to #1 above.*

5. Adopt design review ordinances. *Accomplished. In 2014, the Planning Commission approved 5 projects subject to Site Plan and Design Review.*
6. Preserve Alamitos Well No. 1. *Accomplished in Discovery Well Park which has decorative fencing and informative signage.*
7. Prepare historic resources study. *Windshield survey completed. More detailed historic resources work is needed.*
8. Recommend funding for historic preservation. *Not implemented.*
9. Require park dedication. *Ongoing through impact fees and dedications. **See response to #3 above. The future view park will be funded by development park impact fees. In 2014, \$17,121 in park impact fees was collected.***
10. Develop parks in hilltop area. *Accomplished with three parks with trails system linking them to Civic Center. **The future view park will provide an additional pedestrian link between the hilltop trail system and Civic Center.***
11. Improve park accessibility for the young, elderly and disabled. *Accomplished in all existing parks. Plans for new parks include accessible features. **In November 2014, the community garden opened and includes 2 accessible plots. A conceptual design for an accessible dog park at 3100 California Avenue, north of Spring Street was approved and funding from park impact fees was authorized.***
12. Adopt Open Space Ordinance. *Accomplished in Chapter 20.18 Open Space. In 2012, the City adopted a zoning ordinance to facilitate development of publicly managed community gardens. **In November 2014, the community garden project was completed and the garden opened.***
13. Encourage parkland gifts. *In 2005, the City received a half acre of parkland as a gift adjacent to Sunset View Park along Skyline Drive. This space has been used as a viewing area and setting for the 'Roughnecks' bronze sculpture.*
14. Review public works projects annually. *Implemented through Annual Capital Improvement Projects planning, budget process and General Plan annual review.*
15. Develop bike and trails plans. *Bike path study determined not to develop bike paths. Extensive pedestrian trail system completed. In 2007, trail system segment at Hathaway Ridge project was completed. In 2010, the Circulation Element was updated which includes a trails plan and bicycle master plan. In 2013, the City applied for a trail renovation grant as part of the L.A. County Competitive Trails program requesting \$134,720 for trail improvements for Bixby Ridge near Discovery Well Park. **In 2014, a grant for \$109,000 was received for trail renovations. Approved plans for the Crescent Square project***

included a trail segment linking the Historic District neighborhood to the Town Center West retail center and the hilltop.

16. Capitalize on view opportunities. *Accomplished at Hilltop and Sunset View parks and Panorama Trail. See responses to #1 above for efforts to create the Chawot Nature Preserve which will include viewing opportunities. In 2014, conceptual plans for a view park at Cherry Avenue and Burnett Street were developed.*
17. Work with School District to use school sites after hours. *Accomplished and ongoing.*
18. Work with City of Long Beach to assure use of parks in Long Beach. *Accomplished through a collaborative effort that allows Signal Hill's Youth Sports Program to use Long Beach facilities.*
19. Amend zoning to regulate oil facilities. *Accomplished through Oil Code. In 2010, the State Division of Oil and Gas revised the process for oil well abandonment under their Construction Site Plan Review. In 2013, the City adopted an ordinance with development standards for properties with oil wells in response to these changes from the State. The ordinance allows development near to but not over oil wells. The City continues to work with specialists in water quality and oil recovery to complete a comprehensive analysis for an amendment to the ordinance allowing development over abandoned oil wells. In 2014 the following activities related to zoning and oil operations occurred:*
 - **The conditional use permit (CUP) for the seven drill sites operated by Signal Hill Petroleum (the SHP drill sites) was extended for 30 months to allow time for preparation of a comprehensive plan for future drilling operations throughout the City.**
 - **The City's oil code continues to restrict development on properties with abandoned oil wells however, the technical water study related to the pending oil code amendment was completed with a conclusion that oil operations had not negatively impacted the water quality or quantity in Signal Hill and the Long Beach Oil Field. The petroleum report was also completed and provided a replacement equivalency standard for well abandonments that is consistent with the standard previously used by DOGGR. Inclusion of the equivalency standard in the pending oil code amendment will lift the current restrictions on development throughout the city.**
20. Resolve hazardous sites. *Accomplished through environmental review.*
21. Amend oil related municipal codes as needed. *Accomplished and ongoing. See response to #19 above.*
22. Update drilling standards. *Accomplished and ongoing.*

23. Review oil interface issues. *Accomplished and ongoing. See response to #19 above.*

24. Implement SCAQMD standards. *Accomplished and ongoing - dust mitigation measures implemented at all new development sites.*

25. Promote water conservation. *In 2007 and 2008, the Public Works Department implemented public outreach and education programs to promote water conservation through flyers included with water billing. In 2010, the City amended Title 13.10, Water Conservation in Landscaping, to require water efficient landscape in new construction and rehabilitated landscapes. In 2010 the City completed construction of a water conservation demonstration garden at the City Yard and approved plans for a water conservation garden/pathway at Reservoir Park. In 2011, the City's Sustainable City Committee (SCC) demonstrated a reduction in water consumption by 150.6 gallons per capita per day, as part of Signal Hill's continued effort to conserve water. In 2014, the following conservation activities occurred:*

- **City consumed 11% less water when compared to the base years of 2007 and 2008.**
- **The City Council re-activated the Level 1 Water Supply Shortage declaration which imposed a variety of water use restrictions including limits on landscape watering hours and duration and mandating that drinking water be served only upon request at restaurants.**
- **The City received \$41,758 in grant funding from the Gateway Water management Authority to initiate a demonstration project to replace 260 antiquated residential water meters with new smart meters that record usage data and send high usage alerts automatically.**
- **In consideration that water pumping and distribution represents the single highest energy use for the City, Edison grant funds were awarded for a program to install variable speed motor drives on City water pumps that match the speed of the motor with the service need and reduces energy use.**
- **An advanced wellhead water treatment facility is being designed for installation at well No. 9 which will decrease the City's reliance on imported water and provide a reliable source of potable water to the City in the case of damage from an emergency.**
- **Outreach to the community with water conservation information, tips and regulations continues via pamphlets, the City web site and features in the Cityviews with links to bewaterwise.com.**

26. Coordinate hazmat response. *Accomplished and ongoing.*

27. Participate in regional hazardous waste management planning. *Accomplished through the Hazardous Waste Management Facilities Ordinance, Chapter 20.57.*

28. Amend codes for hazardous materials facilities. Ongoing through the *Hazardous Waste Management Facilities Ordinance, Chapter 20.57*. In 2009, the City approved plans for the EDCO facility, a waste recovery recycling and transfer facility that will include a household hazardous waste drop-off center. In 2012, construction of the transfer facility and administrative offices was completed. **In 2014, a video promoting EDCO's household hazardous waste operations was produced and promoted on the City's web site and at public meetings.**
29. Abate hazardous industries. *Accomplished and ongoing through the Hazardous Waste Management Facilities Ordinance, Chapter 20.57.*
30. Review hazardous facilities. *Accomplished through the Hazardous Waste Management Facilities Ordinance, Chapter 20.57.*
31. Require construction site cleanup. *Accomplished through building inspections. In 2014, Cal Green construction recycling mandates implemented.*
32. Implement code enforcement. *Accomplished through the City's code enforcement program. In 2010, the City completed 102 code enforcement cases. In 2011, the City completed 58 code enforcement cases. In 2012, the City completed 29 code enforcement cases. In 2014, the City completed 46 code enforcement cases.*
33. Amend code for developing on steep slopes. *Accomplished through specific plans and site plan and design review process.*
34. Respect natural land forms. *Accomplished through specific plan and site plan and design review process.*
35. Maintain set backs from oil wells. *Accomplished through Fire Department review of compliance with L.A. County Fire Code.* In 2013, the City amended the Oil Code to allow development near to but not over oil wells and setbacks for safety and access is included. **In 2014, special studies for establishment of standards for development over and near abandoned oil wells were completed to be considered as a part of a future Oil Code Amendment. No changes to required setbacks from active wells are anticipated.**
36. Prepare solar energy brochure. *In 2008, the City formed a Sustainable City Committee (SCC). Part of the committee's purpose is to provide public education. In 2009, upon recommendation from the SCC, the City Council adopted the California Energy Commission's New Homes Solar Partnership Municipal Toolkit as a reference document to assist in preparing a solar energy brochure for the public. Ongoing.*
37. Develop an educational program for oil interface issues. *In 2005, staff participated in State Department of Conservation, Division of Oil and Geothermal*

Resources Construction Site Review Committee. The committee recommends recordation of disclosure documents. In 2012, the City extended an urgency ordinance for development standards for properties with oil wells in response to changes in the State review program. This ordinance requires recordation of disclosure documents. In 2013, the City amended the Oil Code to allow development near to but not over oil wells and setbacks for safety and access were included. In 2014, as part of the educational process for development of the oil code amendment and extension of the CUP for the seven SHP drill sites, the City facilitated an additional drill site tour and two lunch-and-learn programs hosted by Signal Hill Petroleum.

38. Periodically provide City newsletter information covering environmental issues and progress, for delivery to residents and businesses. *Accomplished and ongoing by providing articles to Cityviews, the quarterly newsletter, and posting items on the City website such as water conservation and the Sustainable City Awards. In 2014, the SCC met bi-monthly with all meetings open to the public. Each SCC agenda includes current environmental, sustainability and conservation items, news, guest speakers, City participation and accomplishments, local action items and the reports on Green City Report goals and accomplishments. The SCC recommended and the City Council awarded quarterly sustainability awards to local residents, businesses and school clubs. The adopted Green City Report developed and updated annually by the SCC is publically available. The SCC's mission, meetings, members, the Green City Report and Annual Update and sustainability award recipients are posted on the City's web site and updated regularly.*

Noise Element

Status Overview

The Noise Element has one goal and 20 implementation programs as discussed below:

Goal

Goal 1: Protect the health, safety, and welfare of people living and working within the City from adverse noise impacts.

Implementation Programs

1. Provide information to the public regarding the effects of high noise levels and the means to reduce noise levels and their impacts. *Staff continues to communicate the standards in the noise ordinance to the public verbally and in writing (Title 9).*
2. Utilize the site plan review process and California Environmental Quality Act (CEQA) review of new developments to minimize impacts of noise-generating activities whenever feasible. *Accomplished and ongoing. The impacts of noise generated by project operations and construction as well as traffic noise from impacted roadways are analyzed in compliance with CEQA guidelines and mitigation measures are applied as necessary.*
3. Review City functions and activities to ensure that noise from concerts, construction, refuse collection, and street cleaning is reduced to the lowest possible level. *Accomplished and ongoing. The City's noise ordinance establishes standards and regulations for noise levels, days and hours for businesses and operations. In 2014, 15 Construction Time Limit notices were sent to nearby property owners. Notices provide a description of construction activities and potential for noise related to the erection, demolition, excavation, modification, alteration or repair of any building or structures and the permitted hours for construction.*
4. Consider the use of noise criteria in the purchase of new equipment by City departments and agencies as part of bid evaluation. *Accomplished and ongoing.*
5. Encourage the Federal and State governments to continue to provide standards of allowable industrial noise exposure so that all workers are adequately protected against noise-induced hearing loss. *As a member of the Gateway Cities COG, the City receives information and provides feedback on State and Federal regulations.*
6. Review the City's noise ordinance and recommend amendments as needed. *Accomplished and ongoing. In 2014, several code enforcement cases were worked on related to noise complaints regarding a noisy business use, new equipment, construction noise, oil well work, and private street sweeping and leaf blowing. Staff continues to implement noise reduction and mitigation*

methods on a case by case basis, working with business and property owners for mutually beneficial resolutions.

7. Review the Noise Element and update, if necessary, every five to ten years. *The Noise Element was last updated in 2010.*
8. Continue to review County and regional plans for transportation, airport operation, etc. to identify the environmental impact of noise and to develop alternatives for the control of major noise sources on a County and regional basis. *As a member of the Gateway Cities COG, the City participates in regional reviews and feedback.*
9. Work closely with Caltrans in the early stages of design modification or expansion of State-owned highways to ensure proper consideration of noise impacts on the City. *Accomplished during plan review and CEQA review process as required.*
10. Work with Caltrans to incorporate source noise reduction, barriers, and other design elements for future freeway ramp or access alignments. *Ongoing.*
11. Continue enforcement procedures to effect compliance with Motor Vehicle Code noise standards for motor vehicles. *Accomplished and ongoing.*
12. Review the City's truck routes to limit to the extent practicable truck traffic in noise-sensitive areas. *Accomplished and ongoing. In 2013, as part of the review of trucking yards, a traffic study was prepared analyzing current and alternative truck routes in the City. In 2014, following adoption of the trucking yard standards in 2013, no new trucking yards have been requested or approved and no truck route related complaints have been received.*
13. Support the currently-adopted Aircraft Noise Compatibility Ordinance (Long Beach Municipal Code Chapter 16.43) and noise abatement procedures for Long Beach Airport. Strongly oppose the establishment of flight patterns of aircraft over the City and relocation of runways, which would include noise impacts on land uses in Signal Hill. *Accomplished and ongoing. In 2014, communications with Long Beach Airport staff resulted in a change to the take-off and landing patterns for small planes during instructional flights in response to noise concerns from residents.*
14. Encourage Long Beach Transit to use noise criteria as an important factor in their purchase of new buses. *Ongoing.*
15. Mitigate new noise sources to an acceptable exterior level of 65 dB CNEL or less and an interior level in habitable rooms of 45 dB CNEL or less at existing noise-sensitive land uses. *Ongoing. In 2014, Crescent Square was reviewed for compliance with the Traffic Noise Impact Distances map listed in the City's Noise Element.*

16. Require an acoustical analysis report where the introduction or addition of a new noise source has the potential to result in exterior noise levels exceeding 60 dB CNEL at a noise-sensitive location. The report must show how noise mitigation measures have been incorporated into the design of the new noise source to reduce interior noise levels at noise-sensitive locations to 45 dB CNEL. *Ongoing.*
17. For new residential structures to be located where the predicted CNEL exceeds 60 dB, require an acoustical analysis assuring that the proposed design will limit exterior noise to allowable levels: 45 dB in any habitable room and to the extent practicable, 65 dB for outdoor living areas. *Ongoing. See responses to #2 and #15 above.*
18. Enforce the California Building Standards Code (CCR, Title 24) for sound transmission between adjacent multifamily dwellings to ensure an acceptable interior noise level of 45 dB CNEL in habitable rooms. *Accomplished through building plan check process. The City enforces noise standards incorporated as a part of the 2013 California Building Standards Code.*
19. Consider the use of reduced street widths and traffic calming to reduce vehicular noise. *Accomplished and ongoing.*
20. Enforce existing noise ordinance requirements for the construction of new single-family detached or multifamily residential dwellings within 600 feet of an operating well, injection well, or other appurtenant oil field equipment (SHMC Section 9.16.085). *Accomplished as part of annual inspections of oil fields and site plan and design review. In 2014, approximately 40 well work notifications were distributed. In an effort to provide the community with information regarding well work, Signal Hill Petroleum provides a courtesy notice to nearby residents and the City about the type of work that will be done, the duration of the work, what to expect with the work and contact information for Signal Hill Petroleum.*

Safety Element

Status Overview

The 1986 Safety Element contains 4 goals and 44 implementation programs as discussed below.

Goals

- Goal 1: Minimize risks to life, property and economic dislocation resulting from seismic, fire, tank failures, hazardous materials, and epidemics.
- Goal 2: Provide a safe, secure and crime free environment.
- Goal 3: Improve the City's ability to respond to natural and man-made emergencies.
- Goal 4: Assist Signal Hill residents, businesses, workers and visitors in minimizing danger and disruption to life and property in the event of a catastrophic event or other emergency.

Implementation Programs

1. Adopt uniform building codes. *Accomplished and ongoing.* **In 2014, the City began enforcement of the new 2013 California Code of Regulations, including the State's Green Building Standards called CalGreen.**
2. Amend codes as needed. *Accomplished and ongoing.*
3. Require geologic studies. *Accomplished and ongoing.*
4. Review all seismic hazards every five years – *Not implemented.*
5. Increase public awareness. *Accomplished through handouts on a variety of subjects available at the public counter. In 2008, the City adopted the Natural Hazards Mitigation Plan to develop mitigation action items such as public education and outreach for emergency preparedness (new updated plan is due prior to March 19, 2017). In addition, the City formed a Community Emergency Response Team to be better prepared in the event of an emergency. Community CERT training is administered by the Los Angeles County Fire Department and hosted by the City. The trainings are typically offered every other year (the last CERT training was in 2013). In 2014, the following activities occurred:*

- **The Police Department continued to use of the City website to provide crime mapping and access to NIXLE.com, a web service for crime reporting. The Signal Hill Police Department uses their Facebook page to provide information about various law enforcement issues related to the community and two public service announcements were posted on the City's website and on the Signal Hill Police Department's Facebook page.**
 - **Approximately 40 well work notifications were distributed. In an effort to provide the community with information regarding well work, Signal Hill Petroleum provides a courtesy notice to nearby residents and the City about the type of work that will be done, the duration of the work, what to expect with the work and contact information for Signal Hill Petroleum.**
6. Develop a program for steep slope development. *Accomplished through grading plan review.*
 7. Establish standards for critical facilities. *In 2008, the City adopted the Natural Hazards Mitigation Plan to inventory critical facilities and establish safeguards for such facilities (new updated plan is due prior to March 19, 2017). In 2013, construction of the Emergency Operations Center (EOC) at the police station at 2745 Walnut Avenue was completed. The new EOC was built to current building code standards for seismic safety. In 2014, the City conducted an EOC table-top training exercise with City staff. The City hired a new EOC Coordinator to update the City's Emergency Response Plan and management of the operation center.*
 8. Revise grading standards. *Accomplished.*
 9. Abate seismic hazards/unsafe structures. *Accomplished.*
 10. Maintain Los Angeles County Fire services. *Accomplished.*
 11. Require Fire Department approval of plans. *Accomplished and ongoing.*
 12. Adopt Uniform Fire Code. *Accomplished.*
 13. Encourage Fire Department public relations. *Accomplished and ongoing.*
 14. Establish employee fire prevention training. *Accomplished through training provided from membership in JPIA.*
 15. Adopt multi-family fire codes. *Accomplished through uniform codes.*

16. Review fire flow annually. *Fire flow tests are required for new development as a condition of approval for the Site Plan & Design Review process.*
17. Establish mutual aid programs with Long Beach police and fire, Los Angeles County sheriff and the California Highway Patrol. *Accomplished and ongoing.*
18. Increase public awareness of crime potentials. *In 2008, the City purchased a Command Post Vehicle to promote policing activities throughout the City and formed the Citizens' Police Academy to educate the public about areas of law enforcement. In 2010, one Citizens' Police Academy class was held with additional classes scheduled in 2012 and 2013. In 2011, the Police Department developed a program, "Neighborhood Police Substation for a Day" to use the Command Post Vehicle in a neighborhood. The Citizens' Police Academy is offered every other year.*
19. Encourage neighborhood watch programs. **In 2014, the Police Department continued implementation of 2 neighborhood watch programs. The Police Department is working with the North End neighborhood to start an additional neighborhood watch program.**
20. Update law enforcement procedures. *Accomplished and ongoing. In 2014, the Police Department continued to work on their Strategic Plan. The Strategic Plan involved developing personnel, enhancing community relations, enhancing internal relations and maximizing the use of technology to enhance effectiveness. The plan should be ready for adoption in 2015.*
21. Adopt Uniform Security Code. *Accomplished.*
22. Inspect water facilities. *Accomplished through annual inspections and in 2005 the Water Master Plan Update was completed (an update will be completed in 2015).*
23. Collaborate with state and regional agencies in resolving Class I hazardous waste treatment and disposal issues. *Accomplished through Hazardous Waste Management Plan.*
24. Update codes for facilities handling hazardous materials. *Accomplished.*
25. Inspect hazardous facilities. *The City inspects facilities with Conditional Use Permits annually. Los Angeles County Fire inspects all facilities periodically.*

26. Coordinate with other agencies hazardous issues. *Accomplished through Hazardous Waste Management Plan.*
27. Annually update inventory of hazardous facilities. *Accomplished through Los Angeles County Fire.*
28. Update regulations concerning transport of hazardous wastes. *Ongoing.*
29. Designate roadways for transport. *In 2010 the City updated the Circulation Element which designates roadways for use as truck transport, designated to keep large trucks away from residential development. In 2012, the City initiated a citywide study of truck routes specifically focused on Orange Avenue truck traffic.*
30. Develop an automatic shut-off for petroleum facilities. *Accomplished through Oil Code and State law revisions.*
31. Develop system for automatic dispersal of neutralizing agent for chemical spills. *Implemented through hazmat responders.*
32. Develop educational programs for public safety in the event of a hazardous or toxic material emergency. *Implemented through hazmat responders.*
33. Maintain capability to respond to spills. *Implemented through hazmat response.*
34. Update emergency response plan. *Ongoing. The City's operational manual is updated every two years and submitted to the State's Emergency Operation Management Center. In 2013, the City Emergency Operation Center response plan was updated.*
35. Regularly practice emergency response plans. *Implemented through Emergency Operations Center. In 2010, the City's EOC Committee conducted a table-top exercise with all required City staff participating and activated the emergency operations center. In 2013, the Police Department conducted emergency training with City employees at the new EOC. In 2014, the City conducted an EOC table-top training exercise with City staff. The City hired a new EOC Coordinator to update the City's Emergency Response Plan and management of the operation center.*
36. Develop mutual aid for emergency medical response. *Ongoing.*

37. Maintain evacuation routes. *Cherry Avenue is designated as a major emergency evacuation route and is maintained as such.*

38. Develop public education program. *Accomplished through training provided from JPIA and Community Emergency Response Team (CERT). In 2014, the following activities occurred:*

- **The City continued the tradition of holding an annual National Night Out at Reservoir Park. In 2014, the Police Department won an award from the National Association of Town Watches for our National Night Out. The Police Department has now won this award for 4 consecutive years.**
- **“Coffee with the Cops” was hosted at the Signal Hill Police Department's Emergency Operations Center. The event is open to the public and gives citizens an opportunity to meet and interact with the officers from the department**
- **An open house was hosted at the Police Department.**

39. Reevaluate emergency response plan. *Accomplished and ongoing through EOC. **See response to #34 above.***

40. Prepare recovery plan. *In 2008, the City adopted the Natural Hazards Mitigation Plan which includes an action item for the creation of a recovery plan for the reconstruction of essential services and facilities.*

41. Anticipate short-term needs during emergencies. *Accomplished and ongoing through EOC.*

42. Recommend insurance policy changes. *Accomplished through membership in JPIA.*

43. Maintain emergency operations center. *Accomplished and ongoing. **See response to #7 above.***

44. Train City employees as emergency responders. *Accomplished and ongoing. **See response to #35 above.***

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF HOUSING POLICY DEVELOPMENT

2020 W. El Camino Avenue, Suite 500
Sacramento, CA 95833
(916) 263-2911 / FAX (916) 263-7453
www.hcd.ca.gov

**CITY OF SIGNAL HILL****2014 MAR 24 AM 8:24****ADMINISTRATION**

March 18, 2014

Mr. Kenneth C. Farfsing, City Manager
City of Signal Hill
2175 Cherry Avenue
Signal Hill, CA 90755

Dear Mr. Farfsing:

RE: Signal Hill's 5th Cycle (2014-2021) Adopted Housing Element

Thank you for submitting Signal Hill's housing element adopted February 4, 2014 which was received for review on February 11, 2014. Pursuant to Government Code (GC) Section 65585(h), the Department is reporting the results of its review.

The Department is pleased to find the adopted housing element in full compliance with State housing element law (Article 10.6 of the Government Code). The adopted element was found to be substantially the same as the revised draft element the Department's November 18, 2013 review determined met statutory requirements. The finding of compliance is based on, among other reasons, recent zoning amendments to allow emergency shelters by-right without a conditional use permit in the Commercial General district consistent with requirements of GC Section (A) 65583(a)(4).

Please note, Signal Hill now meets specific requirements for several State funding programs designed to reward local governments for compliance with State element law. For example, the Housing Related Parks and Local Housing Trust Fund Programs both include housing element compliance either as a threshold or competitive factor in rating and ranking applications. Specific information about these programs is available on our website at http://www.hcd.ca.gov/hpd/hrc/plan/he/loan_grant_hcompl011708.pdf.

The Department appreciates the effort Mr. Scott Charney, Community Development Department Director; Ms. Colleen Doan, Associate Planner; and consultant Mr. Ralph Castañeda Jr., provided throughout the course of the housing element review. The Department wishes the City of Signal Hill success in implementing its housing element and looks forward to following its progress through the General Plan annual progress reports pursuant to Government Code Section 65400. If the Department can provide assistance in implementing the housing element, please contact Mario Angel, of our staff, at (916) 263-7442.

Sincerely,

A handwritten signature in blue ink that reads "Glen A. Campora".

Glen A. Campora
Assistant Deputy Director



March

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CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: COLLEEN DOAN
ASSOCIATE PLANNER**

**SUBJECT: DIRECTOR'S REPORT – UPDATE ON PROGRESS ON THE PENDING
OIL CODE AMENDMENT REVISING REGULATIONS FOR
DEVELOPMENT ON PROPERTIES WITH ABANDONED WELLS AND
METHANE ASSESSMENT AND MITIGATION**

Summary:

Staff will present an update on the status of the oil code amendment including the environmental analysis.

Recommendation:

Receive and file.

Background and Analysis:

The City adopted its comprehensive Oil Code in 1990. At that time, Chapter 16.24 required that prior to issuance of building or grading permits, property owners or developers must provide the City with a DOGGR certification letter verifying that previous well abandonments are satisfactory, or that wells have been re-abandoned to current or equivalent DOGGR standards. The equivalent standard recognized the complexity of the well re-abandonment process based on well conditions.

In November 2010, with no prior notice to the City, property owners, or developers, the DOGGR, which regulates the drilling, operation, maintenance, plugging and abandonment of oil, natural gas, and geothermal wells, changed their well certification program to eliminate the equivalency standard and the certification letter. The abrupt change to what had been a 22-year program created uncertainty for local agencies and the development community.

On August 16, 2011, the City Council unanimously adopted Interim Urgency Ordinance 2011-08-1430. The ordinance was extended twice as allowed by State law in September 2011, and August 2013. The ordinance allowed limited opportunities to develop on properties with abandoned wells pending completion of the technical studies necessary to adopt a more comprehensive code amendment.

In 2013, prior to the final expiration of the interim urgency ordinance and pending completion of the technical studies, the Council adopted an oil code amendment that continues to restrict development over and in close proximity to wells. The development regulations are similar to those in the interim ordinance and require abandoned well site surveys and methane leak testing and venting of abandoned wells prior to submittal for development review. The previous definition of area of development was revised to include a ten foot buffer outside of the limits of grading to ensure access to wells. Requirements for methane assessment and mitigation for the entire development site were also added to the ordinance.

In 2014, the technical studies were completed and the Council authorized a contract with SESPE Consulting, Inc. (SESPE), to prepare the environmental document for the comprehensive ordinance amendment. SESPE has completed an Initial Study and Negative Declaration. Staff will provide a status report and highlight next steps at the meeting.

Approved:

Scott Charney



March

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CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: SCOTT CHARNEY
COMMUNITY DEVELOPMENT DIRECTOR**

SUBJECT: MINUTES

Summary:

Attached for your review and approval are the minutes of last month's regular meeting.

Recommendation:

Approve.

**A REGULAR MEETING OF THE CITY OF SIGNAL HILL
PLANNING COMMISSION
February 10, 2015
7:00 P.M.**

CALL TO ORDER

Chair Benson called the meeting to order at 7:01 p.m.

ROLL CALL

The Commission Secretary conducted roll call.

Present: Chair Tom Benson
 Vice-Chair Jane Fallon
 Commissioner Devon Austin
 Commissioner Shannon Murphy
 Commissioner Rose Richárd

Staff present:

- 1) Community Development Director Scott Charney
- 2) Associate Planner Colleen Doan
- 3) Assistant Planner Selena Alanis
- 4) Assistant City Attorney Jeff Malawy

In addition, there were 6 people in attendance.

PLEDGE OF ALLEGIANCE

Chair Benson led the audience in reciting the Pledge of Allegiance.

PUBLIC BUSINESS FROM THE FLOOR

There was no public business.

PRESENTATION

Associate Planner Colleen Doan gave an overview and presentation for the 2015 Greater Los Angeles Homeless Count. Commissioner Richárd, a volunteer for the Count, gave a status report and commended staff and the organizers for the quality of preparation and efficiency of the process. Commissioner Austin, who also volunteered at the event, stated she had been pleased about the small number of homeless persons and commented upon the cleanliness of both commercial and residential areas. The Commission presented certificates of appreciation to the volunteers who were able attend:

- Commissioner Devon Austin (present)
- Devona Chiles (present)

- Dave Dressler (not present)
- Maria Harris (present)
- Richard Harris (present)
- Commissioner Rose Richárd (present)
- Senior Detective Kelli Brown (not present)
- Senior Police Officer Don Moreau (not present)
- Police Officer Raul Ramirez (not present)

The Commission extended their thanks to the volunteers who were instrumental in making the event a success.

DIRECTOR'S REPORTS

1. Massage Regulations and Recent Changes in State Law

Assistant Planner Selena Alanis gave the staff report.

Commissioner Murphy asked how updated massage regulations would affect reflexology and other establishments where treatment does not require clothing removal. Staff will research those establishments when the amendments to the City's regulations are prepared.

Commissioner Richárd asked if background checks had been required since 2008. Staff advised they will research the specific requirements of the California Massage Therapy Council for a license. From 2008 to date, the only individuals that were licensed by the State have been approved and no standalone establishments. The Community Development Director advised that previously business owners such as State-licensed chiropractors have objected to City requests for a background check. The Police Chief has previously advised staff that the State certification process does not guarantee that problems would not occur. The new regulations are envisioned to respond to contemporary needs and accessory use to business such as gyms.

Vice-Chair Fallon asked if the State licensing process included fingerprinting. Staff advised that in California there has been a movement to preclude fingerprinting because of negative implications. There have been no complaints about certified technicians in Signal Hill.

Chair Benson asked if background checks could be required by the City in cases where other regulatory agencies are involved. The City Attorney advised that if a State agency requires a background check for their license, then the City cannot do an additional background check.

Chair Benson asked if members of the public had any comments or questions. There being no public testimony, Chair Benson asked the Commissioners if there were any additional questions.

Vice-Chair Fallon stated she had worked with a company that had a children's activity program and that fingerprinting was required due to interaction with children.

Chair Benson asked if the Police Chief administered any other programs involving the need to revoke licenses. Staff advised that the adult business process would be an area where the Police Chief would be involved.

It was moved by Commissioner Austin and seconded by Commissioner Murphy to receive and file the report.

The motion passed 5/0.

2. Update on the Pending Oil Code Amendment Revising Regulations for Methane Assessment and Mitigation and Development on Properties with Abandoned Wells

Associate Planner Colleen Doan gave the staff report.

Chair Benson asked for any questions from the Commission.

Commissioner Murphy asked why DOGGR had changed their procedures. Staff advised that in 2010, DOGGR had staff changes with legal versus field experience and restricted their oversight duties to their sole authority which is what happens below-ground, not above.

Chair Benson asked if the changes at DOGGR had clarified roles and responsibilities. Staff agreed and reiterated that DOGGR is the overseeing authority below-ground, and the City is the overseeing authority above-ground.

Commissioner Murphy asked if the City allowed construction near or above abandoned oil wells. Staff clarified that currently the Code does not allow it but the provisions in the Oil Code Amendment would address building over oil wells, provided certain standards are met. The new studies will provide guidelines for the Oil Code Amendment, which staff believes will be welcomed by DOGGR to help justify standards of development.

Chair Benson asked about the timeline of the Oil Code Amendment. Staff advised there will be a review by the City Attorney of documents prepared by the consultants. The review is followed by a public comment period of 30 days, then a public hearing to adopt the Ordinance. The adopted Ordinance will become effective 30 days following the introduction of the Ordinance.

Commissioner Murphy asked what studies were included in the 16 binders displayed at the meeting. Staff advised that they are documents for the water quality/quantity report and the petroleum report/abandonment standards, and the data will be sent to Sacramento with the environmental analysis.

Chair Benson asked if members of the public had any questions or comments. The following members of the public spoke regarding the report:

- 1) Keven Doherty, Summerhill Homes developer of the Crescent Square project, commended staff and their consultants on the job performed. He stated that while the Oil Code Amendment has taken a long time, they are confident that the City understands their need to move forward. Their hope is that the timeline might be concluding in the next few months.

Chair Benson asked Mr. Doherty if they were satisfied about the frequency of communication of status updates. Mr. Doherty stated they were happy both with the progress being made and responsiveness of staff.

- 2) Ashley Schaffer, Signal Hill Petroleum, emphasized how much they are looking forward to reaching a conclusion regarding the revised Oil Code. They have a viable project waiting to be developed. She thanked staff and offered encouragement in bringing the amendment process to a close.

Chair Benson asked the Commissioners if there were any additional questions.

Vice-Chair Fallon thanked staff for their hard work on the Oil Code Amendment on behalf of the Commission and developers.

Commissioner Richárd commended staff on their hard work.

Commissioner Murphy commended staff, offered best wishes to the City Attorney for the review, and looked forward to seeing the Amendment back before the Commission as part of the public hearing process.

Chair Benson commended the leadership the City is showing in reviewing the Oil Code. He reiterated the concern for the timeline in order to provide sound business practices.

It was moved by Vice-Chair Fallon and seconded by Commissioner Richárd to receive and file the report.

The motion passed 5/0.

3. Beautification Award

The Commission discussed the frequency of nominations and presentation of the award. Staff noted that at community meetings, they have received feedback that recognition was appreciated by residents and business owners. The Chair reminded the Commission that both commercial and residential projects are eligible for nomination.

It was the consensus of the Commission that the award should be presented on a less frequent basis. The awards should be given in the spring and fall, with flexibility for multiple nominations and awards if desired. It was noted that there is

often an overlap between the Beautification Award and the Sustainability Award and it was suggested that combining awards when appropriate should be an option.

CONSENT CALENDAR

Commissioner Murphy requested that Item No. 6 be pulled for discussion.

Commission Received and Filed Consent Calendar Items No. 4, 5, 7, 8 and 9.

It was moved by Commissioner Richárd and seconded by Vice-Chair Fallon to receive and file Consent Calendar Item Nos. 4, 5, 7, 8 and 9.

The motion carried 5/0.

Commission Receives and Files Consent Calendar Item No. 6.

Commissioner Murphy asked about the City Council Follow-Up regarding 2311 Ocean View Drive. At the City Council meeting during public business from the floor not listed on the agenda, Mrs. Pamela Hughes of 2311 Ocean View Drive expressed concerns about the extension of Construction Time Limits. Staff gave a summary of the discussion at the City Council meeting.

It was moved by Commissioner Murphy and seconded by Commissioner Austin to receive and file Consent Calendar Item No. 6.

The motion carried 5/0.

COMMISSION NEW BUSINESS

Commissioner Austin asked if additional measures could be taken to address parking at the Gateway Center. She stated the ATM impedes the view of drivers looking to park. Staff advised the property owner will be alerted and that additional visuals might be needed to guide drivers.

Commissioner Murphy stated that lately the Costco store manager has been very responsive. It was her request that work which begins at 7:00 AM might occur at a point farthest away from the condominiums, and then move closer later in the day. She stated she could not attend the Costco community meeting on February 12, 2015.

Commissioner Murphy asked if the electric vehicle charging stations at the Fresh & Easy stores were operating. Staff confirmed they are operational.

Commissioner Richárd thanked Assistant Planner Selena Alanis and Anthony Caraveo about helping to provide information regarding drought resistant landscaping at her condominium complex.

Vice-Chair Fallon stated her condominium association is also reviewing the landscaping at their complex.

Chair Benson noted the Costco has a great landscape design and the management has been cooperative. The gas station and parking area looks clean, and that due to traffic control efforts, traffic flows well for a heavily traveled parking lot.

Commissioner Murphy noted some parking spaces have been temporarily eliminated due to the remodel of the Costco food court.

Chair Benson asked for confirmation of the community meeting date. Staff verified it will be held on Thursday, February 12, 2015 at the Willow Ridge Community.

Chair Benson commended staff for the use of a clock as a visual aid on the Development Status Report for construction time limits, and noted the timelines are generous. Staff advised there are some builders who are nearing the end of their time limits and they have been communicating regularly about their progress.

Chair Benson shared thoughts about changing markets and considerations that should be included in the City's planning process. Staff advised that the City is currently working on the Strategic Plan as a tool to address those issues.

ADJOURNMENT

It was moved by Commissioner Murphy and seconded by Commissioner Richárd to adjourn to the next regular meeting of the Planning Commission to be held on Tuesday, March 10, 2015.

The motion carried 5/0.

Chair Benson adjourned the meeting at 8:40 p.m.

TOM BENSON
CHAIR

ATTEST:

SCOTT CHARNEY
COMMISSION SECRETARY





CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: SELENA ALANIS
ASSISTANT PLANNER**

SUBJECT: CITY COUNCIL FOLLOW-UP

Summary:

Below for your review is a brief summary on the City Council's action from the previous month.

Recommendation:

Receive and file.

Background and Analysis:

- 1) At the February 27, 2015 City Council and Housing Authority meeting, the following items related to the Community Development Department were discussed:
 - A report on the 2014 annual inspection of properties with a Conditional Use Permit (CUP) was provided. Staff inspected 49 properties.
 - The Council directed staff to give Crown Castle, operator of the antenna at 2411 Skyline Drive, 15 days to comply with Conditional Use Permit conditions (not all tenants had active business licenses) or schedule a revocation hearing.
 - A report on the review of Institutional Permits was provided. Permits for three organizations were issued.
 - The City Council approved the Mitigated Negative Declaration and General Plan Amendment for the Official Plan Lines Map related to the future view park. Zoning Ordinance Amendment 15-01 was introduced to establish pedestrian connection as a roadway type.

- The Housing Authority approved the Disposition and Development Agreement with Meta Housing Corporation to develop a 72-unit housing project at 1500 E. Hill Street.

2) At the March 5, 2015 City Council meeting:

- The second reading of Zoning Ordinance Amendment 15-01 was scheduled which would establish pedestrian connection as a roadway designation. If approved, the ordinance would be effective on April 4, 2015.

Approved by:

Scott Charney



March

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CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: SCOTT CHARNEY
COMMUNITY DEVELOPMENT DIRECTOR**

SUBJECT: DEVELOPMENT STATUS REPORT

Summary:

Attached for your review is the monthly Development Status Report.

Recommendation:

Receive and file.

Residential

1

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Residential

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	REVIEW			SPDR			CTL			<u>Status</u>
			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
3240 Cerritos Ave.	A 1,168 sf 2 nd unit over four-car garage and a 2 bedroom addition to an existing house Applicant: Jim Trevillyan	SPDR 05-01	N/A	01/18/05	N/A	Permit Issued 01/28/14	N/A	N/A	01/23/15	3/14/15		C of O issued on rear unit. Working on front unit (7/14). Permit finalized for front unit SPDR (3/15). New permit issued for new drywall, plumbing and electrical for remainder of existing house 3/4/15. JH

Residential

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Residential

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	REVIEW			SPDR			CTL			<u>Status</u>
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3347 Brayton Ave.	Remodel existing SFD and new 931 sf second unit with 3-car garage Revised plans for the remodel of the front SFD to include a second story and additional square footage Applicant: Reginald McNulty	SPDR 11-03	N/A	08/09/11	N/A	Prior to CTL						The applicant has completed construction on the second unit and 3-car garage. Revised plans scheduled for the Planning Commission March 2015 workshop (3/15). SA
2799 21 st St.	A two-story 3,629 sf SFD and 3 car garage Applicant: Vivir Properties/Silva Family	SPDR 13-05	N/A	01/14/14	N/A	Permit Issued 7/21/14	N/A	N/A	01/12/16			Framing and roof nailing complete (12/14). Rough plumbing, electrical complete (2/15). Doors and windows, stucco 2 nd coat and drywall complete (3/15). JH
924 E Vernon St.	Demolition of existing dwelling and detached garage for construction of a new two story 3,230 sf duplex and 4-car garage Applicant: LLG Construction	SPDR 14-02	N/A	06/10/14	N/A	06/10/15						Applicant working with SCE and Public Works on alley improvements (10/14). Plan submitted for 2 nd building plan check (3/15). SA

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Residential

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	REVIEW			SPDR			CTL			<u>Status</u>
			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
3360 Lemon Ave.	A 1,207 sf 2 nd unit over a four-car garage at the rear of a property with a SFD Applicant: Jason Shorow	SPDR 14-03	N/A	07/08/14	N/A	07/08/15						SPDR approved, signed conditions received. Plan check is complete. Applicant is preparing grading plans for submittal to Public Works and submittals for LA County Fire (3/15). CTD
1995 St. Louis Ave.	A proposal to demolish existing dwelling and detached garage for a new two story 3,187 sf SFD with attached 3-car garage Applicant: Seth Sor	SPDR	N/A	Required	N/A							View Notice sent on 8/4/14. Story poles installed on 8/5/14. PC workshop 10/14/14. Applicant is revising plans and coordinating a view analysis (3/15). SA
2260 Walnut Ave.	A proposal for a new two story 1,894 sf SFD with attached 2-car garage on a vacant lot Applicant: Santana Investors	SPDR	N/A	Required	N/A							Leak test passed, vent cone was not installed (2/15). Staff has reviewed preliminary plans. The applicant is working on well survey and plans (3/15). SA

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Residential

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2085 Freeman Ave.	A proposal for a new two story 3,746 sf SFD with attached 3-car garage on a vacant lot Applicant: RPP Architects	SPDR	N/A	Required	N/A							Leak test passed and vent cone installed (2/15). The applicant has submitted plans for Planning review and preliminary comments (3/15). SA/CD
2101 Stanley Avenue	Vacant lot in Hilltop Specific Plan Applicant: Jonathan Spano	Leak Test of Abandoned Oil Well										Leak test passed and vent cone installed (2/15). JH

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Residential

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Large Subdivisions (5 or more lots) and Multi-family Developments

Crescent Square	25 three-story detached single-family dwellings at the N/E corner of Walnut and Crescent Heights Street	SPDR 14-04 ZOA 14-03 VTTM 72594	N/A	8/12/14	9/2/14	08/12/15						SPDR approved on 8/12/14. Construction pending plan check submittal and completion of the Oil Code Amendment (2/15). Grading plan has been submitted for plan check (3/15). SC/SA
Walnut/ Crescent Heights St.	Applicant: SummerHill Homes/Signal Hill Petroleum											
Gundry Hill	Development of 72 multiple-family, affordable units, three and four stories in height and a community building, community garden, tot lot and courtyard with on-site management	SPDR for Administrative Review and approval by the Director of Community Development	Approved 2/18/15	N/A	N/A	N/A	N/A	N/A				Tours completed on 1/6/15 and 1/8/15. A community meeting with the Planning Commission was held on 1/13/15. The Disposition and Development Agreement approved by the Housing Authority on 2/17/15 (3/15). Director approved the SPDR on 2/18/15.
1500 E Hill St.	Applicant: Meta Housing											SC/SA

Residential

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**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Residential

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2599 PCH cont.	Residential SP-10											Applicant revised plans and submitted for conceptual review. Review completed. Proposal has one less unit and setbacks now meet the code however several buildings still exceed the height limit and view policy outreach is pending. The applicant will submit rough grading to discuss options to reduce heights (3/15).
	Applicant: Mike Afiuny											CTD
1939 Temple Avenue	Potential sale of the property for development of residential homes (existing non-conforming industrial buildings on site).	Leak Test of Abandoned Oil Wells										DOGGR maps indicate 2 wells in the vicinity of the property.
	Applicant: High Rhodes/Anglers											Applicant is trying to locate 1 well, but has been unsuccessful to date. The remaining well is under the existing building. Applicant is preparing to demolish the existing building to leak test the well (3/15).
												JH

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Commercial-Industrial

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	<u>REVIEW</u>			<u>SPDR/CUP</u>			<u>CTL</u>			<u>Status</u>
			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
2653 Walnut Ave. 2H Construction	An approximate 8,000 sf warehouse/office building Applicant: 2H Construction	Administrative Review	✓	N/A	N/A	Permit Issued 04/13/11	N/A	N/A	Prior to CTL			Exterior complete. Awaiting revised TI plan and working on Public Works conditions of approval (3/15). JH
1680 E. Hill St. AUHS	31,739 sf TI for additional classrooms Applicant: American Univ. of Health Sciences	Administrative Review	✓	N/A	N/A	Permit issued 04/17/14	N/A	N/A	04/06/16			Still no progress. Staff will follow up with applicant to verify interest in pursuing with tenant improvement (3/15). JH
2701 Cherry Avenue	ADA parking lot improvements Applicant: Best Buy	Administrative Review	✓	N/A	N/A		N/A	N/A				Permit ready for issuance (3/15). JH
2162 E. Willow St.	1,106 sf TI for new restaurant Applicant: WaBa Grill	Administrative Review	Required	N/A	N/A		N/A	N/A				In plan check (3/15). CTD/JH
3355 Olive Avenue	Proposal for new 5,000 sf warehouse and office building Applicant: Roger Vititow	Administrative Review	Required	N/A	N/A							Staff reviewed preliminary plans. Plans have been submitted for 2 nd building plan check (3/15). SA

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Commercial-Industrial

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	REVIEW			SPDR/CUP			CTL			<u>Status</u>
			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
3201-3225 Pacific Coast Highway	Tentative Parcel Map to subdivide an existing 1.8-acre lot into two lots	71592, extension granted	N/A	11/08/11	N/A	11/8/13	11/8/14	11/8/15	N/A	N/A	N/A	3 rd TPM ext granted per State law. TPM valid until 11/8/15. Property has new owner. Staff has prepared a letter to inquire about future intent for subdivision from new property owner (2/15).
Quality Inn	Applicant: William Suh											CTD
845 E. Willow St.	A 18,994 sf medical/office building	SPDR 13-02	N/A	07/09/13	N/A	Permit Issued 02/25/14	N/A	N/A	2/15/16			Foundation complete, structural steel and site work in process; utilities on-site (11/14). Exterior metal finished (12/14). Conformity Report went to the Planning Commission on 12/09/14. Parking lot asphalt complete (1/15). Exterior steel complete. Ext. finish started (2/15).
2H Construction	Applicant: 2H Construction											JH

Commercial-Industrial

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Commercial-Industrial

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Commercial-Industrial

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**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Commercial-Industrial

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			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
2750 Signal Parkway	New freestanding carport mounted PV system Applicant: Har-Bro Construction	Administrative Review	✓	N/A	N/A	Permit issued 2/9/15						Permit issued on 2/9/15. JH

General Community Development Projects

- Planning Department staff reviewed and approved 6 business licenses.
- Building Department staff issued 19 permits including 2 solar permits including a new freestanding carport mounted PV system for Har-Bro. The valuation of the permits is approximately \$464,900.
- Colleen Doan and Selena Alanis attended the first session of Signal Hill's Leadership and Management Academy.

Wireless Telecommunications Facilities

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**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Wireless Telecommunications Facilities

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	REVIEW			SPDR			CTL			<u>Status</u>
			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
1855 Coronado rooftop facility	Replacing 56" panel with 72" panel antennas, screen box in sector A & B will be increased by 3'	Administrative to modify CUP 08-03	✓	N/A	N/A		N/A	N/A				Plans ready for permit issuance (3/15).
	Applicant: Core Dev.											SA
2766 St. Louis Dr.	Relocate 3 existing panels, install 3 8' antennas and install RRUs	Administrative to modify CUP 00-03	✓	N/A	N/A		N/A	N/A				Plans ready for permit issuance (3/15).
T-Mobile	Applicant: Associated Land LLC											SA
2201 Orange Ave.	A request to add 3 new 8' panel antennas and relocate 3 existing antennas on 3 arms of the existing mono palm	Administrative to modify CUP 07-04	✓	N/A	N/A		N/A	N/A				Staff provided comments for the applicant (2/15).
T-Mobile on Crown Castle Mono palm												CTD/JH
2875 Junipero	Remove and demolish the monopalm wireless facility.	CUP 05-02 will be suspended	✓	N/A	N/A	Permit issued 2/12/15	N/A	N/A				Demolition Permit issued 2/12/15.

**City of Signal Hill
Community Development Department
Development Status Report
March 10, 2015**

Wireless Telecommunications Facilities

<u>Address</u>	<u>Project Description</u>	<u>Application</u>	REVIEW			SPDR			CTL			<u>Status</u>
			<u>Director approval</u>	<u>PC approval</u>	<u>CC approval</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	<u>Expires</u>	<u>1st Ext.</u>	<u>2nd Ext.</u>	
2633 Cherry Avenue	Rooftop Wireless Telecommunication Facility for AT&T	CUP	✓	Required	Required							Staff met with the applicant to review preliminary plans for the rooftop facility and suggested revisions to elevations and plans for aesthetics (5/14 and 7/14). Applicant preparing plans and expects to resubmit (2/15).
AT&T	Applicant: Core Dev.											SA



March

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28	29	30	31					

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CITY OF SIGNAL HILL

2175 Cherry Avenue ♦ Signal Hill, CA 90755-3799

March 10, 2015

AGENDA ITEM

**TO: HONORABLE CHAIR
AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: SCOTT CHARNEY
COMMUNITY DEVELOPMENT DIRECTOR**

SUBJECT: IN THE NEWS

Summary:

Featured articles for this meeting include:

- Shift to Renting Won't Let Up
- Los Angeles Gives Hosts, Neighbors Mixed Signals on Short-Term Rentals
- Australia's "Granny Flats"
- In a Dry State

Recommendation:

Receive and file.

U.S. NEWS



Transplant Mark Tobia is renting an apartment in Houston, where renters made up 54% of the population in 2013, up from 41% in 1970.

Shift to Renting Won't Let Up

Biggest Cities, Even Relatively Inexpensive Ones, Move Away From Homeownership

By LAURA KUSISTO
AND KRIS HUDSON

American cities—and not just the priciest ones—are more and more the domain of renters.

Renters made up the majority of the population in cities at the core of nine of the nation's 11 largest metro areas in 2013, a sharp change from 2006, when renters were the majority in just five of those cities, according to a new report.

Cities have always had a larger number of renters when compared with suburban areas, in part because the cost of owning a home within a city's limits is out of reach for many residents, especially in high-cost places such as New York, San Francisco and Washington, D.C.

But the report, scheduled to be released Monday by New York University's Furman Center and Capital One Financial Corp., found a significant shift in the proportion of renters in all major cities—even in lower-density, relatively inexpensive places such as Houston and Dallas.

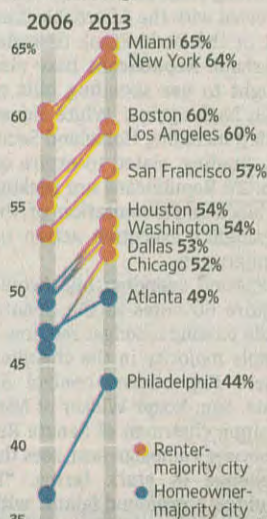
A resulting demand for apartments is rising so fast that it is starting to overwhelm supply in many cities, which is pushing up housing costs nationwide. "As the number of renters grow, if the supply of rental housing does not keep up—as it has not in most of these cities—then vacancy rates will fall, rents will rise, and more renters will struggle with the costs of housing," said Ingrid Gould Ellen, the Furman Center's faculty director.

In some cases, the rise in the

Urban Trend

Nine cities of the 11 largest metros have more renters than homeowners.

Share of population in rental housing



Source: Census Bureau via NYU's Furman Center for Real Estate and Urban Policy.
The Wall Street Journal

number of renters reflects a reversion to levels before the housing boom, when easy credit and no-down-payment mortgages allowed many renters to become homeowners. Once the boom turned to bust, people went back to renting, either because they lost their homes to foreclosure or they became skittish about owning. In Chicago, renters made up 53% of the population in 1990, then dropped to 46% at the height

of the housing boom in 2006 and returned to 52% in 2013.

In other cases, long-term demographic trends and changing attitudes have diminished the appeal of the traditional American dream of homeownership. In Houston, just 41% of the population were renters in 1970. The rate rose to 51% by 2000 then declined slightly during the housing boom before starting to rise again, hitting 54% in 2013.

Texas cities have seen explosive job growth, drawing many transplanted younger workers with entry-level or middle-income jobs. Dallas-based apartment developer Brad Miller said the young people he sees prefer to rent and want to be able to pick up and move to places such as Denver at a moment's notice. "They'll go where the jobs are and where the money is," said Mr. Miller, president of Encore Multi-Family.

Mark Tobia, a single 27-year-old, moved to Houston from Boston last September to take a job as a project manager in construction for Group 1 Automotive Inc. He chose to rent an apartment in a complex owned by Camden Property Trust not far from the city's downtown. "I didn't want to buy a place not knowing if I'd like Houston or if I'd like the job," Mr. Tobia said, adding that he has since become comfortable with both.

But for many, slow income growth and a lack of savings are the main reasons for renting instead of buying, even as mortgage rates remain historically low. Accumulating savings has

become even more difficult as rents rise in many cities. Rents outpaced inflation in all of the 11 cities except for Dallas and Houston, where they remained largely flat, according to the NYU-Capital One report. Rents rose the most in Washington, D.C., over the seven-year period, with a 21% increase in the median rent when adjusted for inflation.

"For many people, the biggest obstacle to buying is saving enough for a down payment, which is more difficult if you're paying a lot of rent," said Jed Kolko, chief economist at Trulia Inc.

The Furman Center found New York City no longer has the largest share of renters of any of the big cities, having been outstripped by Miami, where 65% of the population rents, a percentage point higher than New York. The nation's largest city is also one of several where the percentage of renters has been on a long-term decline, falling from 71% in 1970 to 64% in 2013.

Among the 11 cities, Philadelphia had the smallest percentage of renters in 2013, just 44%, up from 37% in 2006 and 33% in 1970. Nationwide, 64% of households were owner-occupied and 36% were renter-occupied at the end of 2014.

In the short term, economists and developers said they expect to see the percentage of renters continue to rise in most cities. "I don't think the American dream is dead," said Mr. Miller, the Dallas developer. "It's different, and it's taking longer for people to obtain the American dream."


Los Angeles gives hosts, neighbors mixed signals on short-term rentals



In Silver Lake, Jane Taguchi, who has complained that the house across the street is being rented out, worries about the changing feel of the neighborhood. (Luis Sinco / Los Angeles Times)

By **EMILY ALPERT REYES**

SHARELINES

 The popularity of short-term home-sharing in L.A. is worrying residents who don't want to live amid hotels

FEBRUARY 7, 2015, 10:00 AM

Airbnb and similar "home sharing" websites have exploded in popularity in L.A., overwhelming city regulators who are struggling to collect tourist taxes and enforce long-standing restrictions on rentals.

Renting out rooms or homes for a few days or weeks is illegal in many residential areas, city planning officials say. But the building department and other city agencies say they face practical obstacles to cracking down on such rentals, as individuals and investors have flooded the app-fueled L.A. marketplace.

MORE: Airbnb touts its economic benefits as L.A. leaders seek to clamp down

“

It's supposed to be a spare room -- not corporate interests taking over our neighborhood and turning everything into a virtual hotel.

”

- Scott Plante, of Silver Lake

SHARE THIS QUOTE

In tourist meccas such as Venice Beach, annoyed residents say entire homes are being rented out nonstop to revolving groups of guests. Some residents say they fear that the phenomenon is becoming overly commercialized, exacerbating an affordable-housing crunch as apartments and homes that housed tenants are converted to vacation rentals.

"It's supposed to be a spare room — not corporate interests taking over our neighborhood and turning everything into a virtual hotel," said Scott Plante, a Silver Lake resident.

When neighbors turn to the city to enforce the rules, Plante said, "it's a very nebulous situation."

Airbnb alone claims roughly 4,500 hosts in L.A. That's more than four times the total number of lodging businesses, including hotels, bed and breakfasts and other rentals, that are registered to collect and forward city lodging taxes. The company recently estimated that its hosts earned \$43 million in rent in a single year in the city — a number that suggests L.A. could be losing millions annually in tourist taxes used to help pay for police, tree trimming and other city services.

The city has been collecting revenue from some rental hosts who registered their businesses to pay taxes at City Hall. But in one sign of the uncertainty swirling around such rentals, The Times found what appeared to be hundreds of lodging businesses registered to pay taxes in neighborhoods where they are generally

The city has been collecting revenue from some rental hosts who registered their businesses to pay taxes at City Hall. But in one sign of the uncertainty swirling around such rentals, The Times found what appeared to be hundreds of lodging businesses registered to pay taxes in neighborhoods where they are generally barred.

In at least one such case, a host later got a building department notice that his rental was illegal. Daniel Goodman said he'd paid taxes for months on a Venice canals home he marketed to visitors via Airbnb and VRBO for \$400 to \$700 a night. The income helped him support his mother, who had stopped working to care for her elderly father, Goodman said.

RELATED: Uber, Airbnb team up with Concur to cater to business travelers

Then came the city order telling him to stop, saying he had improperly converted the home to a hotel.

Opinion



Beyond Uber and Airbnb: The future of the 'sharing economy'

"Wait a minute," Goodman recalled thinking. "I'm paying taxes — but I'm getting fined. What's going on?"

If someone wants to rent out a property for short stays, "the Department of Building and Safety will tell you that you can't, and the finance department tells you to send your taxes," said Paula Samuel, who rents out properties downtown. "It's really a conundrum."

Tax officials emphasize that tax registration is not a permit to operate. For their part, building department officials say it is extremely difficult to prove someone is illegally renting out a home.

"We go and knock on the door and ask, 'Is this an Airbnb?'" said Luke Zamperini, spokesman for the building department. "They say no ... How do we disprove that?"

Getting a lease agreement would help, but that typically means convincing a judge to approve a search warrant for "serious violations that threaten life, limb or property," Zamperini said.


Many websites that broker short stays do not list addresses or host names. And building department officials said they have no way to track the number of violation notices issued to Airbnb-type rentals. Persistent violators can be taken to court, but a spokesman for City Atty. Mike Feuer said he knew of no such cases referred to his office by the building department.

A Los Angeles Times analysis of tax records found more than 300 businesses renting homes or rooms for less than 30 days in areas where such short stays are generally not allowed — including the Venice canals where Goodman operated his rental. However, it's not clear how many of those are in fact illegal, due to the complexity of L.A.'s zoning laws.

We're better off acknowledging that it's here and regulating where it should or shouldn't be and taxing it.

”

- City Councilman Mike Bonin

 [SHARE THIS QUOTE](#)

permission to operate as bed-and-breakfasts in "designated historic homes" was secured, said Alan Bell, a recently retired deputy planning director. Planning officials said an extensive review of each location would be required to determine if short stays were allowed.

The bigger question for City Hall is how many such businesses aren't registered to pay taxes at all. "So much of it is effectively underground," said Westside City Councilman Mike Bonin, whose district includes popular Airbnb destinations such as Venice.

"We're better off acknowledging that it's here and regulating where it should or shouldn't be and taxing it."

Airbnb has worked out agreements in other cities, including San Francisco and Chicago, under which the firm agrees to collect and send lodging taxes to city governments. Company spokesman Nick Papas said Airbnb asks its hosts to follow local rules and has had "productive discussions with L.A. leaders about these rules and taxes."

The Los Angeles Short Term Rental Alliance, which advocates for Angelenos renting out properties, says it would welcome new rules to legalize and regulate short-stay rentals in residential areas where they're now banned. The regulations could ensure taxes are collected and the businesses aren't creating a nuisance for neighbors, alliance co-founder Sebastian de Kleer said.

But as some residents push for much stricter regulations on the sharing economy, the city battle over rentals could be just beginning. In some neighborhoods, it's already raging.

In Silver Lake, Jane Taguchi has snapped photos of guests loaded down with luggage and printed online listings she suspects are marketing the house across the street. The house with the blue tile roof, perched above the Silver Lake Reservoir, is in a zone where such rentals generally are barred.

Taguchi said she realized what was happening in May after a raucous fraternity event awoke her and her neighbors in the wee hours of the morning. Beyond such annoyances, her larger worry is that renting out homes like hotels could change the feel of the neighborhood.

"I don't want a bunch of strangers around me," Taguchi said. "If you let her do it, everyone will do it."

Melody Shahbazian, who owns the home across from Taguchi, declined to comment for this story. Last year, she took Taguchi to court, alleging she was intimidating her and guests.

"Although we have rented our home, we have attempted to comply with all laws and regulations and believe that the use of our home is entirely legal," Shahbazian wrote in a declaration. She said she and her husband initially planned to use the house as a second home and offset the cost by renting it out for short stays but mostly left it vacant because of harassment.

Taguchi denied she was engaged in harassment, and a judge rejected the request for a restraining order last year. The building department couldn't substantiate complaints about improper use of the Silver Lake home but did issue a violation notice for illegal construction of a second kitchen that was ultimately removed, according to spokesman Zamperini.

Many neighborhood groups welcomed the recent city order against Goodman in the Venice canals, hoping for similar action in their areas. Zamperini said he couldn't discuss details of evidence gathered to pursue the alleged violation because the matter remains under investigation.

Residents have been given inconsistent information from city officials about what proof is needed to trigger enforcement actions, said Judy Goldman, one of the co-founders of Keep Neighborhoods First, a group concerned about "commercialized" short-term rentals.

Some residents have been told that an online advertisement isn't enough, she said. But when those same residents asked if it would help to obtain a copy of a rental contract, city officials told them that such investigative efforts should be left to the building department, Goldman said.

"It's a lot of mixed messages," Goldman said.

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Times staff writers Ben Poston and Tim Logan contributed to this report.

THE PROPERTY REPORT

Australia's 'Granny Flats'

Tiny Homes Pop Up in Response to a Housing Boom That Has Priced Some Out

BY REBECCA THURLOW

DEE WHY, Australia—In Australian backyards, manicured lawns, flower beds and trampolines make way for the latest emblem of the country's booming housing market: "granny flats."

These tiny dwellings, also known as "mother-in-law apartments" or "in-law suites," are the latest craze in a housing boom that started in Sydney and has spread across the country, putting homeownership out of reach of many Australians.

In Warringah, the electorate of Australian Prime Minister Tony Abbott just north of Sydney, the shortage of affordable housing is so acute that some lower-income workers, such as police officers, have to commute daily from more than 100 miles away. Others decide to sleep in cars or on friends' couches, government officials say.

For Constable Brendan Buko, getting to his job at Dee Why police station in Warringah Council from his home on the central coast, means a round trip as long as four hours, depending

on traffic. Some days, especially after a 12-hour overnight shift, he is forced to pull his car into a rest area for a nap before continuing the journey home.

Lately, the 26-year-old has seen his fiancée—also a police officer in the nearby town of Gosford—once or twice every couple of weeks because of the shift work and long commute.

Since early 2012, prices for homes in Australia's major cities have skyrocketed by 22%.

"We're either asleep or at work and pretty much pass each other in the hallway, and that's about it," he said. The young constable grew up in Dee Why, but was forced out by rising rents and house prices, in an area where he said a "cheap and nasty" house starts at upward of 800,000 Australian dollars (US\$624,000).

The median house price in the area is about A\$1.2 million, up roughly 30% in the past two years.

Mr. Buko isn't alone in his struggle to keep up with the rising cost of real estate here. A third of the police academy graduates chosen for the broader Northern Beaches area declined to sign up because they couldn't afford to live there on a starting wage, said Michael Regan, Warringah's mayor. More than half of the current police force commutes from outside the area. Such trends are fueling concerns about the provision of basic services.

"We aren't being alarmist. We think it's an emergency," Mr. Regan said.

Sydney ranks in the world's 10 most expensive cities for prime residential property: One million U.S. dollars will buy you a home measuring around 41.2 square meters (443 square feet)—only slightly larger than a similar property in New York—according to a survey by Knight Frank.

Nationally, house prices in major cities have risen 22% since early 2012, according to RP Data

CoreLogic, a property-research firm. Sydney saw the largest rise in the year through January, with a 13% increase, while Melbourne prices were up 7%, the firm said.

That has left local councils with the job of helping boost the supply of affordable housing, freeing up planning approvals to make it easier for new homes to be built, and on smaller plots. Data from six local governments surveyed by The Wall Street Journal show granny-flat approvals surged on average by 35% over the past year. Approvals have more than doubled in some parts of Sydney.

"Demand has basically skyrocketed," said Mark Moundjian, operations manager at Ian Cubitt's Granny Flats and Studios, a contractor. "We build in excess of 300 a year, whereas, say about five years ago, we were doing more like 30 or 40 a year."

Australia sidestepped the global financial crisis largely because of the strength of its mining industry.

Real-estate prices kept climbing at a time when those in many other Western markets



Shane O'Neill lives in a 'granny flat' behind his mother's house.

were falling. That means the recent price increases are off an already-high base. The Reserve Bank of Australia this month cut interest rates to a record-low 2.25% to aid an economy that is slowing as a decadelong mining boom fades. The low rates are fueling property speculation from investors ranging from Australian baby boomers to wealthy Chinese looking for yield, and shutting out first-time buyers.

"I had money put aside for a deposit, but it wasn't enough," said Shane O'Neill, a 41-year-old

pawn-store manager who moved into a granny flat behind his parents' western Sydney home last June.

In the prime minister's electorate, officials are considering easing building restrictions even further to boost the supply of cheap housing—including allowing units to be erected in front yards as well as in backyards, and abolishing a ban on granny flats in semirural areas where many wealthy residents live in grand, sprawling homes with tennis courts, pools and private stables for race horses.

IN A DRY STATE

By Allen Best

A photo taken in 1977 says it all: An ordinary telephone pole near Mendota, California, marked how much the land had subsided after groundwater pumping began in 1925. The answer: 30 feet.

Mendota is in the 450-mile-long Central Valley, which provides a third of the nation's food. Subsidence has continued there and in other parts of California that depend on groundwater—disrupting roads, irrigation ditches, and other infrastructure.

Even in the 1970s, California's governor was being called on to limit groundwater pumping. The governor—Jerry Brown, then and now—did just that this past August, signing a trio of laws that create a framework for managing the aquifers. Asked to explain what had changed over the intervening 36 years, Brown suggested that California's unprecedented drought might just have provided political cover for bold steps.

As it happens, California is dead last among Western states in adopting more rigorous limits to groundwater mining. In all, 85 percent of Californians depend on groundwater for a least part of their drinking water. Some 30 percent of all water for farms, exurban homes, and cities comes from groundwater in normal times. In recent drought years, it's up to 60 percent, according to the California Department of Water Resources.

Drawing on that groundwater has been likened to writing blank checks. "Now we must balance that checkbook," says Andrew Fahlund, deputy director of the California Water Foundation, of the new legislation.

Previous laws adopted since 1991 give local agencies latitude for linking water resources and land-use decisions. The new laws shift the onus. By 2017, groundwater management agencies must be created across California. By 2020, the 56 sub-basins that are overdrafted must have plans to replenish the aquifers as rapidly as they are depleted.

Local agencies are offered some carrots and sticks. Pumping will be metered, as already occurs in other states, but in California the information will not be publicly disclosed. By 2022, all of California's 515 basins must have sustainability plans, and if they don't, the state's Water Resources Control Board will step in. By 2040, the account must be reconciled (to continue the checkbook metaphor): Each aquifer must be recharged at the same rate it is depleted.

These new laws give local planners "a few more tools" to link sustainable water to land use, says Leon F. Szeptycki, executive director of the Water in the West program at Stanford Woods Institute for the Environment. But exactly what this means at the permitting level has yet to be worked out. One possible outcome: more recycling of water, which is already happening in Los Angeles and San Diego.

California previously required that water sources for new development be identified, but did not specify that the sources be sustainable. All groundwater below private land was considered free for the taking by the surface owner. In fact, water underground doesn't stay in one place. Overpumping on one parcel could draw water from neighboring properties. There was no inherent motivation for conservation or efficiency.

That sounds like a classic case of the tragedy of the com-

CALIFORNIA'S WATER WOES

Dry conditions in California continue for a third straight year. Drought now covers 100 percent of the Golden State.

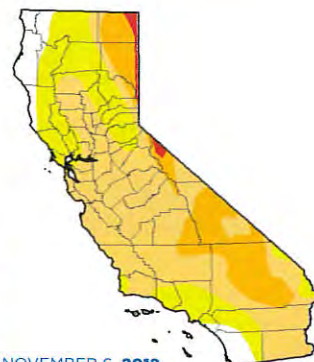
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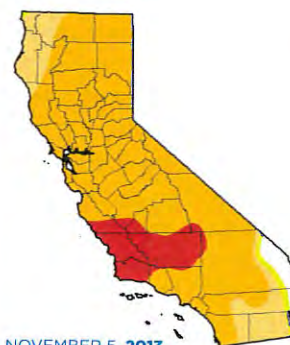
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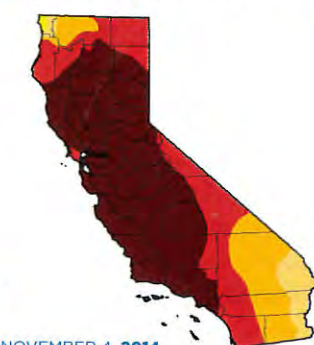
NOVEMBER 8, 2011



NOVEMBER 6, 2012



NOVEMBER 5, 2013



NOVEMBER 4, 2014

SOURCE: [HTTP://DROUGHTMONITOR.UNL.EDU](http://droughtmonitor.unl.edu)

mons—an economic theory that explains how individual actions can deplete a shared resource. James Caruso says that's exactly what happened in San Luis Obispo County, 200 miles south of San Francisco, where he is a senior planner. It's a place of expanding vineyards and exurban homes; some 40 to 45 percent of residents live outside municipalities. By 2013, the water table had dropped 200 feet in places, causing some wells to go dry.

In July 2013, the county board of supervisors adopted an emergency ordinance requiring every new development, every new house, and every new vineyard to offset its groundwater withdrawal with some new source. This puts a premium on plumbing retrofits and other efficiency measures, says Caruso. The county prevailed in three lawsuits, defending the county's ordinance as a government police power, the same legal foundation for zoning and other land-use authority. Still unclear, says Caruso, is whether the county has authority to limit pumping begun before the ordinance's adoption.

With drought as the backdrop, California voters in November approved \$7.5 billion in bonding for water storage projects, watershed restoration, water recycling, and other measures, including \$100 million for groundwater management. One thing it won't do is create more water.

Allen Best is a freelance writer based in metropolitan Denver and the publisher of the e-zine *Mountain Town News*.